

HARTFORD PUBLIC LIBRARY / COMMUNITY SOLUTIONS

REQUEST FOR QUALIFICATIONS (RFP)

ARCHITECTURAL DESIGN SERVICES

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**Hartford Public Library
Request for Proposals/Qualifications
Library Build Out**

Hartford Public Library & Community Solutions are seeking qualified professionals to provide architectural design services for an existing conceptual plan to build out a Library at the Swift building located at 10 Love Lane, in Northeast neighborhood of Hartford, CT.

A. INTRODUCTION

HPL is a one of the oldest public libraries in the country. Founded as the Hartford Library Company in 1774, the Hartford Public Library of today serves the residents of Hartford, the greater Hartford region, and the State of Connecticut from 7 locations with robust programs, services, facilities, and collections that promote a literate and engaged community. HPL is incorporated as a 501(c)3 non-Profit organization; HPL receives approximately 74% of its annual operating revenue from the City of Hartford; income from the endowment, private giving, corporate support, grants, and State support provide the balance of resources for day-to-day operations.

Community Solutions (CS) is a national non-profit organization that works to end homelessness and the conditions that create in more than 90 communities across the nation. We operate neighborhood-specific projects in Brownsville, Brooklyn, and in Hartford, CT, where we work to address the upstream conditions that lead to homelessness.

B. PROJECT BACKGROUND

The Board of HPL approved a 5-year Capital Plan in 2019, identifying seven priority projects. The #1 priority is a new library for the North End to replace the current Barbour Street branch. The current Barbour Library is a leased storefront with 2,448 sq. ft. of space. This space is significantly inadequate for volume of use in the North End of Hartford. The proposed project will provide a new 16,500 sq. ft. facility. Barbour services 4,000 customers monthly in its current location. Given the challenges with the current Barbour Library space the library in cooperation with Community Solutions has decided to transition the Barbour Library to the Swift Factory.

The Swift factory is a collection of 5 interconnected buildings dating from c1895 - 1948 totally approx. 82,000 gross SF. The Swift factory complex sits on a 2.6-acre site along with 2 formerly residential properties. The entire site is on the state and federal register of historic places. The property was the location of the former M Swift & Sons Gold Leaf Manufacturing facility until it's closure in 2005. The building was donated to Community Solutions in 2010. Beginning in May 2018 Community Solutions transformed the once vacant and blighted collection of buildings into a multi-purpose hub and entrepreneurial center. This initial core and shell project was done with Bruner Cott Architects and Consigli Construction and involved the remediation and abatement of the entire property, as well as selective demolition to make way for completely new base building mechanical, electrical, plumbing and fire

protection systems. The first phase of tenant fit-out was done with Bruner Cott Architects and Banton Construction and included a Food Business Incubator, and a series of shared office spaces was completed in October 2020.

The proposed interior fit out includes 2 components which will be designed and constructed concurrently with funding from the HPL, CS and US Economic Development Agency. The first component will be a new branch for the Hartford Public Library. The 2nd component will be a series of MEP upgrades to the base building MEP systems as well as new office space for a local healthcare provider.

C. SCOPE OF WORK

Hartford Public Library

The library will occupy approximately 16,500 ft² with services located in the first and second floor of the facility. The state-of-the-art new space will offer a wide variety of on-site library services including robust cultural and humanities programming, civic engagement, technology access, collections, and educational support services for all ages. The second-floor space will become the NextGen Learning Center at Swift, a multi-faceted service center for the library's workforce readiness, certificate and training classes, including technology training, small business support, and community learning programs.

The space should reflect the culture, history and vision of the community, and community participation in the design process is required. The new library will be a center for civic engagement, culture, literacy and learning. The design should inspire and welcome.

The programmatic focus:

- NextGen at Swift -adult learning center to enhance career and workforce readiness services in the community and a center for on-site and virtual learning services.
- Enhanced access to technology and broadband capacity for the surrounding area by leveraging the library's broadband network.
- Innovative partnerships and shared resources with educational, business, cultural and non-profit partners to leverage expertise and form strategic alliances for the benefit of the community

New Barbour Street/Swift Library Branch- space utilization (Exhibit C Conceptual Plans)

1st Floor -Space Utilization

- Adult Area
- Teen Area
 - Digital Media

- Recording studio
- Children's Area
- Open Study Space
- Reading/Quiet study areas
- Stacks
- Restrooms (2 – multi-occupancy)
- Public Service Points
- Vestibule
- Elevator (Basement -2nd floor)

2nd Floor – Space Utilization

- Administrative
 - Administrative Offices (3)
 - Administrative Locker space
- Adult Learning Center
 - Two classrooms (16 seats each)
 - Media/Tech Lab (13 seats)
 - Group Study (2 spaces seating 8 each)
 - Test Rooms (5 spaces seating 1 each)
 - Test Room (1 space seating 3)
 - Group Study (3 spaces seating 4 each)
- Community Room
 - Flex Seating Space
 - Restroom – 1 person occupancy
 - Kitchenette
 - Storage for tables/chairs
- Storage spaces
- Wellness Room (2)
- Restrooms (2, 1 person occupancy)

Basement – Space Utilization

- Storage

Community Solutions

Community Solutions wishes to fit out a new 4,000 SF office space on the second floor of the Swift Factory, adjacent to the HPL space. Along with this work upgrades are required to the building's central HVAC systems to accommodate this additional load of the office space and HPL space on the building systems including an additional boiler in the basement and an additional cooling tower on the roof.

- **Office Space**
 - Open space (20 desks)
 - Private offices (2)

- Break room
- Data closet & Janitor's closet
- Storage & medical supply room
- **MEP Core Upgrades**
 - Additional gas fired boiler (conc pad and flue are already installed)
 - Additional roof top cooling tower (dunnage is already installed)
 - Common restrooms (2 multi-occupant)

Architectural Services to be provided:

Phase I: Architectural Programming and Schematic Design

a. Architectural Programming and Pre-design

- The Architect shall review conceptual design information prepared by Bruner Cott Architects, coordinate and conduct all necessary fact finding, meetings with HPL and Community Solutions in order to capture all intended work/scope of work
- The architect shall analyze detailed information about the existing site utilities, physical feature, location and the like. Drawings & Revit model relevant to the original construction of the Swift Factory and any later renovations and or expansions will be provided by Community Solutions.
- The Architect shall conduct a survey of the existing facilities, user group meetings and collect and implement information obtained from these meetings into design.

b. Schematic design

- Conduct twice monthly progress meetings to review these plans with HPL and Community Solutions.
- Facilitate 2 participatory meetings with the community to obtain input on the priorities and needs of the users including preparation of colored plans, renderings or models as needed.
- Develop schematic drawings in response to the community, HPL & CS's input.
- Prepare Planning & Zoning application for the project and present at 2 Planning & Zoning Commission meetings

c. Design Development Phase

- Create detailed plans for the construction of the NextGen@Swift including material selections, mechanical, plumbing, electrical / control systems, and final design.
- Include submission to SHPO & NPS and revisions based on their comments.
- At the close of the design development phase, the architect shall provide a project cost estimate. That the cost estimate shall include all expenses

required to be paid by HPL and CS to complete the project including a complete systems or CSI estimate for construction. The estimate for Hard Construction Costs shall be performed by an independent cost estimating firm, construction management firm or similar entity.

- Provide report from commissioning agent
- Submit design development drawings to the State Historic Preservation Office and National Park Service for review and approval.

Phase II: Construction Documents & Bidding/Negotiating

a) Construction Documents

- After approval and acceptance of the end product from Phase II prepare of the required architectural / engineering drawings and plan documents, e.g. mechanical, electrical, plumbing, and etc. for the project.
- Create detailed construction drawings and specification documents for bidding purposes.
- At 90% of the construction phase, the architect shall provide a project cost estimate. That the cost estimate shall include all expenses required to be paid by HPL and/or CS to complete the project including a complete systems or CSI estimate for construction. The estimate for Hard Construction Costs shall be performed by an independent cost estimating firm, construction management firm or similar entity, and shall include a list of alternates to ensure the project remains on budget
- Submit documents for review and secure all necessary approvals from the appropriate parties including local building department, fire marshal, utilities companies and financing and funding sources.
- Provide report from commissioning agent.
- Incorporate comments from funding agencies, commissioning agent and owner into final bid documents.

b) Bidding & Contract Award

- Prepare complete set of bidding documents to prospective contractors via public competitive bid process. Services will include assisting with the distribution of plans and specifications, assisting with -contractor pre-bid meetings, assisting with formulating responses to prospective bidders' questions, issuing addendums (if necessary), attendance at the bid opening, and providing recommendations for contract awards.
- Prepare options for value engineering or possible re-bidding if bids come in over budget.

Phase III

a) Construction Administration & Project Closeout

- The Architect shall be a representative of and shall advise HPL and CS on construction progress until the final payment is due and during the

- correction period described in the Contract Documents.
- Provide on the Library and CS's behalf, construction administration. At a minimum, services to be provided shall consist of coordinating regular progress meetings, field reports, review of shop drawings, undertake construction observation, process certificates for payment to General Contractor and facilitate preparation of final record drawings, warranty follow-up and project closeout.

D. PROPOSAL FORMAT AND SELECTION CRITERIA

Each proposal must be submitted in PDF form, 12-point font single space and is limited to a maximum of 15 8.5x11 pages excluding exhibits and contain, each section should be clearly tabbed, and response must have the corresponding number identifying the section and question number for each response.

The sections/tabs are to be in the following order:

1.0 Letter of transmittal,

Addressed to Mary Tzambazakis, Chief Administrative Officer, as above. The letter should identify the **submitting firm or consultant as well as the name, title, telephone, fax number and email address of the person authorized to contractually obligate the firm or consultant**. The letter should be signed by the named person.

2.0 Provide a General Statement of Qualifications

That responds to the project background information given above and include the items listed below.

2.1 Minimum Qualifications

At a minimum firms must have experience with the design and construction of projects the include:

- a. Libraries
- b. Fit Out projects of at least \$5M
- c. Historic Tax Credit funded projects
- d. Participatory Design Process
- e. Sustainable & Healthy Building

2.2 General Qualifications

- a. Statement as to the firm's particular abilities and qualifications related to this project, as well as the number of years the firm has been in business, the geographical area of operations and professional affiliations.
- b. List of municipalities/nonprofits in Connecticut and other states for which the firm has provided similar services in the last three years with the name and

- contact information for each of these municipalities
- c. Additional information or documentation that may be useful and applicable to this project.

3.0 Personnel

- 3.1 Outline the qualifications of the firm and Architect who will be assigned to this project.
- 3.2 Provide an organizational chart, including resumes of all personnel who would be committed to this project. Provide the name and phone number of two clients who have had similar projects for the architect who will be assigned to this project.
- 3.3 Complete - Exhibit A Staffing Resources
List individuals assigned to this project by function, attach resumes of each, and specific information on their experience on projects similar to this.
List professional consultants outside your firm whom you propose would provide services not available in your firm. Provide specific information documenting their work on similar projects.

4. Experience with Similar Buildings

- 4.1 Submit a list of all similar projects your firm currently has in progress or has completed in the last 10 years and the status of each.
- 4.2 For each, provide the following:
 - a. Name of project
 - b. Client contact
 - c. Owner's total initial budget
 - d. Total project cost
 - e. Number of change orders
 - f. Total cost of change orders
 - g. Date of bid
 - h. Scheduled completion date
 - i. Actual completion date
- 4.3 Describe the exceptional features of library or related buildings designed by your firm.
- 4.4 Explain your firm's expertise with interior fit out of library or related buildings
- 4.5 Explain your firm's experience with Renovation/Adaptive Reuse using State of Connecticut and Federal tax credit programs

4.6 Explain your firm's expertise community engagement and participatory design

4.7 Explain how your firm ensures compliance with the Americans with Disabilities Act (ADA).

4.8 Describe how your firm incorporates this aspect of Sustainable/High Performance & Healthy Building into its work.

5. Architectural/Engineering Service

5.1 Provide information on your current workload and how you would accommodate this project.

5.2 Describe in detail the process you would follow from schematic approval through approval of the final design including community engagement.

5.3 Outline the design schedule you would implement to meet the expected schedule below. Describe the methods you would use to maintain this schedule, and any concerns you might have

Activity	Due Date
Schematic Design & P&Z Submission	April 22, 2022
Design Development & SHPO/NPS submission	May 20, 2022
Contract Documents & EDA Submission	July 22, 2022
Bidding	August 26, 2022
Construction Commencement	September 23, 2022
Construction Completion	June 30, 2023

5.4 Describe your method for consensus building, including your role, the methodology employed, the outcome, and a contact person for a recent project where you employed this method.

5.5 Describe your quality control/coordination steps and/or processes followed to assure electrical, mechanical, and plumbing design plans align with your architectural design and with the existing conditions in order to reduce conflicts during construction which would require change orders and result in increased project costs.

7. Construction Costs

7.1 Describe cost control methods you use and how you establish cost estimates. Include information on determining costs associated with construction in existing facilities.

7.2 List the steps in your standard change order procedure.

8. Legal Concerns

- 8.1 Explain the circumstances and outcome of any litigation, arbitration, or claims filed against your company by a library client or any of the same you have filed against a library client.
- 8.2 Explain the circumstances and outcome of any litigation, arbitration, or claims filed against your company by any client other than a library client or any of the same you have filed.
- 8.3 Explain your General Liability Insurance coverage.
- 8.4 Explain your Professional Liability Insurance coverage.

9. Diversity & Inclusion

- 9.1 Are you a WBME owned business?
- 9.2 What is your approach to ensure diversity, equity and inclusion in your workplace and your work? Provide a response that demonstrates your experience and approach to:
 - a. Community engagement
 - b. Hiring and retention of a diverse workforce
 - c. Employee training and professional development
 - d. Design (i.e., inspiration from, inclusion of community vision, values, history, culture)
- 9.3 Describe your experience working on projects that have construction hiring requirements from local, state or federal agencies.

10. Fees

- 10.1 Provide information on your fee structure based on the scope indicated above, including anticipated reimbursable costs.
- 10.2 Submit a schedule of hourly rates by employee classification, including terms and rates of overtime for additional work if requested.
- 10.3 Provide your fee for this project as outlined below

Hartford Public Library	Community Solutions
Phase I: Architectural Programming and Schematic Design	Phase I: Architectural Programming and Schematic Design
Phase II: Construction Documents & Bidding/Negotiating	Phase II: Construction Documents & Bidding/Negotiating
Phase III: Construction Administration & Project Closeout	Phase III: Construction Administration & Project Closeout
Additional Services if not included in basic services:	Additional Services if not included in basic services:
FF&E Selection & Coordination	Commissioning Agent
Commissioning Agent	Cost Estimate
Cost Estimate	Tel/Data & Security Design
Tel/Data & Security Design	

E. SUBMISSION DETAILS

Proposers should provide 5 hard copies and one electronic version of their proposal to:

PROPOSALS

Proposals are to be submitted in hard copy with one original and five copies and one flash drive containing the submitted proposals. The submissions need to be in a sealed envelope labeled:

**Hartford Public Library Request for Proposal
NextGen Library @ Swift Building
RFP#01-Swift/Barbour Library - 2022**

HARD COPIES OF THE PROPOSALS ARE TO BE DELIVERED TO:

**ATTENTION: MARY TZAMBAZAKIS,
CHIEF ADMINISTRATIVE OFFICER
HARTFORD PUBLIC LIBRARY ADMINISTRATIVE OFFICES, 3RD FLOOR
500 MAIN STREET HARTFORD, CT. 06103-6312**

ELECTRONIC COPIES OF THE PROPOSALS ARE TO BE SENT TO:

HPLRFP@hplct.org, with a copy to swift@community.solutions

Calendar of Events Listed below are tasks and due dates related to this RFP. If HPL & CS find it

necessary to make changes to the schedule it will do so by updating the HPL website on the Request for Proposals page located in the About section of the library's website.

Activity	Due Date
RFP Issued	January 26, 2022
Tours of the Swift Factory are available upon request	
Last Date to Submit Questions Note: No questions will be answered after this date.	February 8, 2022
RFP Due	February 18, 2022 by 4:00pm EST
Interview	Week of February 28, 2022
Selection	Week of March 7, 2022
Contract Start Date	Week of March 14, 2022

Note: All proposers please note of the dates listed for interview and plan schedules accordingly, if selected.

HPL & CS reserves the right to waive information in any proposal or reject any or all proposal or to accept the proposal deemed most favorable to HPL & CS's interest.

CLARIFICATIONS AND/OR REVISIONS TO SPECIFICATIONS AND REQUIREMENTS

If a Proposer discovers any significant ambiguity, error, conflict, discrepancy, omission, or other deficiency in this RFP, the Proposer should immediately notify the Chief Administrative Officer via email at HPLRFP@hplct.org, with a copy to swift@community.solutions. The email should identify the issue and concern which requires review.

Any questions concerning the subject matter of the RFP must be submitted via e-mail on or before by 4:00 p.m. (EST) as noted in the schedule above. Q & A will be posted on the library website hplct.org.

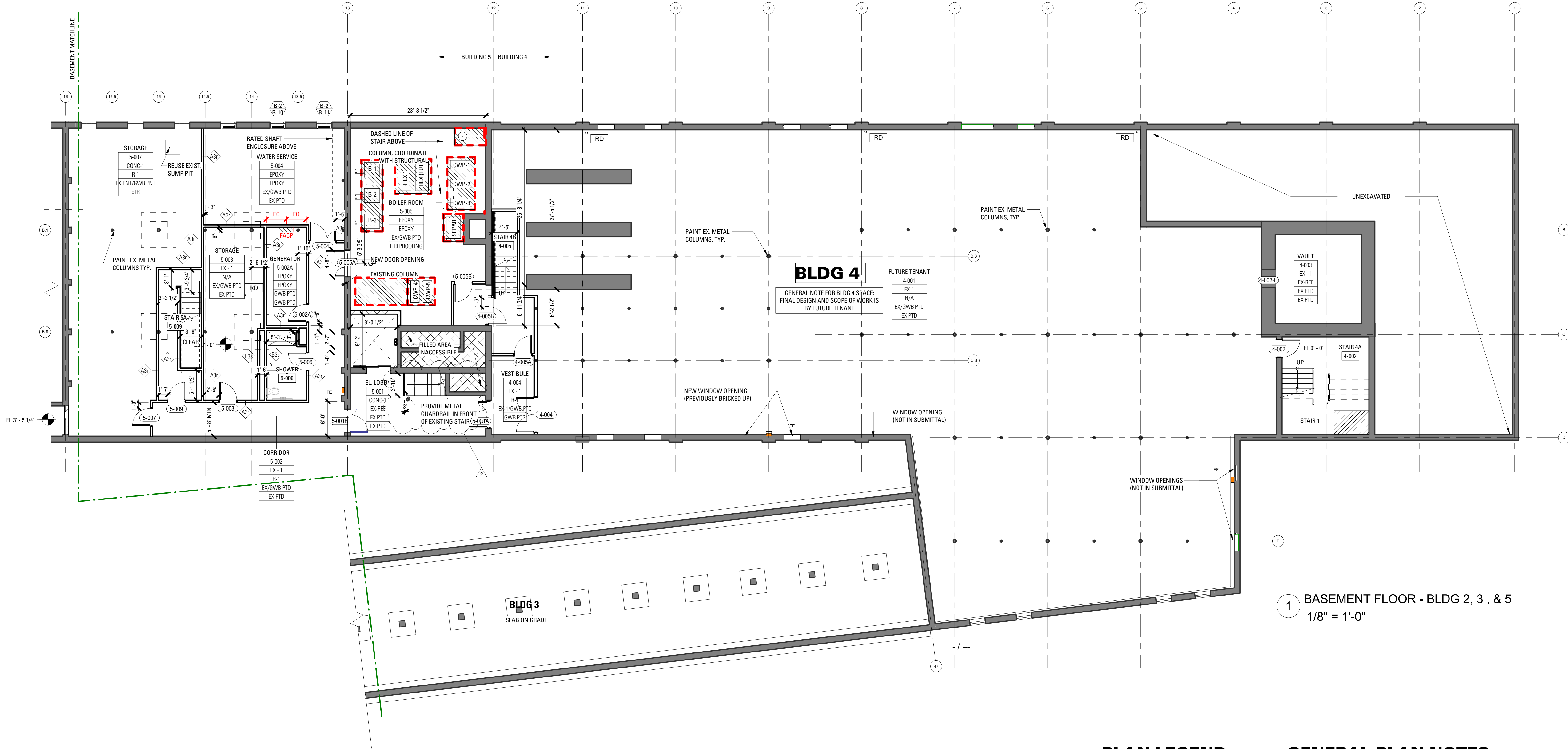
EXHIBIT A

Please list all vendors who will be utilized for outsourced work associated with this project and/or employee name by each discipline. Put N/A for non-applicable positions listed in the table.

Title	Outsourced Firm Name	In-House Staff Name
Architects		
Electrical Engineers		
Mechanical Engineers		
Acoustical Engineers.		
Environmental Engineers		
Fire Protection Engineers		
Civil Engineers		
Specification Writers		
Code Specialists		
Geotech. Engineers		
Structural Engineers.		
Commissioning Agent		
Tel/Data & Security		
Cost Estimators		
Interior Designers		
FF&E Consultant		
Landscape Architects		
Other:		

EXHIBIT B

Existing Condition Information



FINISH PLAN NOTES

- REFER TO REFLECTED CEILING PLANS AND DETAILS FOR EXTENT OF GWB SOFFITS AND/OR SPECIAL CEILING MATERIAL LOCATIONS.
- ALL EXISTING DOORS AND DOOR FRAMES SHALL BE PAINTED OR CLEAR SEALED TO MATCH EXISTING. COORDINATE WITH DRAWINGS.

ROOM FINISH LEGEND

OFFICE	ROOM NAME
313	ROOM NUMBER
C-1	FLOOR
B-1	BASE
P-1	WALL
ACT-1	CEILING

PLAN LEGEND

- NEW CONSTRUCTION
- EXISTING TO REMAIN
- NEW SLAB INFILL
- NEW DOOR
- NEW OR EXISTING DOOR IN EXISTING OPENING TO BE LOCKED BY OWNER
- EXISTING DOOR TO REMAIN.
- CORNER GUARD

GENERAL PLAN NOTES

- GC TO VERIFY FIELD CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
- EXISTING PLASTER WALLS SCHEDULED TO REMAIN AND EXPOSED SHALL BE PATCHED AND REPAIRED TO BE SMOOTH AND TO MATCH ADJACENT AREA.
- AT ALL AREAS OF DEMOLITION OR WHERE MILLWORK OR OTHER ELEMENTS HAVE BEEN REMOVED, REPAIR WALL TO BE SMOOTH AND FREE FROM DEFECTS.
- SALVAGE EXISTING WOOD TRIM INCLUDING WALL BASE, CHAIR RAIL AND DOOR CASINGS FOR RE-USE @ FACTORY BUILDINGS 2, 3, 4 AND WHITE AND GREY HOUSES.
- ALL NEW DOOR FRAMES SHOULD BE 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- PIPE, DUCT, AND COLUMN ENCLOSURES SHALL BE CONSTRUCTED TO BE AS MINIMAL AS POSSIBLE. MAINTAIN ALL FIRE SEPARATIONS BETWEEN SPACES AND AS DEFINED ON CODE DIAGRAMS.
- EXISTING INTERIOR GLASS AND METAL PARTITIONS (INCLUDING DOORS WITHIN THESE SYSTEMS) TO REMAIN SHOULD BE SCRAPED CLEAN, GLASS REPLACED AND CAULKED, METAL FRAMES PAINTED.
- EXISTING EQUIPMENT TO REMAIN OR BE RELOCATED. PROTECT DURING DEMOLITION. SEE D-106 & D-107
- COORDINATE FINISHES WITH FINISH SCHEDULE AND SHEETS A-112, A-113, A-114, & A-115
- REFER TO EXTERIOR ELEVATIONS FOR WINDOW TAGS. ALL WINDOWS ARE TO BE REPLACED U.N.O.
- COORDINATE WITH RATED WALLS / SPACES SHOWN ON SHEETS G-001, G-100, AND G-101
- REFER TO RCP'S FOR COMMON AREA AND SITE LIGHTING. SEE ELECTRICAL FOR CORE & SHELL SPACES SERVING FUTURE TENANTS.
- PROVIDE FIRE EXTINGUISHERS IN ALL SPACES PER NFPA 10 REQUIREMENTS.
- ALL EXISTING WALL MOUNTED HANDRAILS TO REMAIN. REPAIR ANY EXISTING WALL MOUNTED HANDRAIL IN PLACE, INCLUDING NEW ANCHORAGE TO EXISTING WALL. PER SECTION 805.9.1 OF IBC NO NEW WALL MOUNTED HANDRAILS ARE REQUIRED WHERE THERE WAS NOT AN EXISTING WALL MOUNTED HANDRAIL.

Bruner/Cott

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130 Prospect Street
Cambridge, Massachusetts 02139
617 492 8400
www.brunercott.com

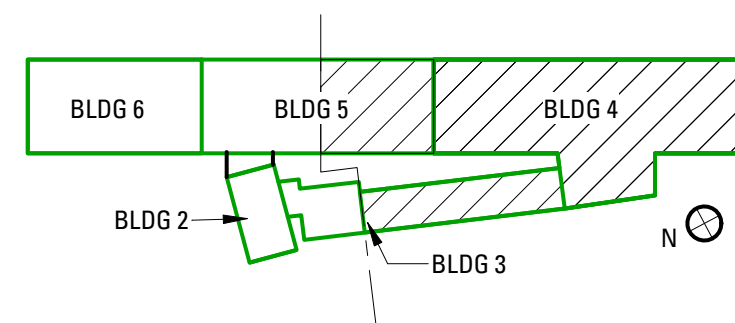
Architecture/Urban Design
Preservation/Landscape Architecture
Space Planning/Interior Design

Rev.	Date	Remarks
1	Aug. 10, 2018	Conformance Set
2	Date 10	CB #17 - Bldg 2/3 Ceiling, Bldg 5 Door, Misc.

CONFORMANCE SET

Date	MARCH 15, 2019
Scale	As indicated
Project Number	16.044

SWIFT FACTORY RENOVATION HARTFORD, CT

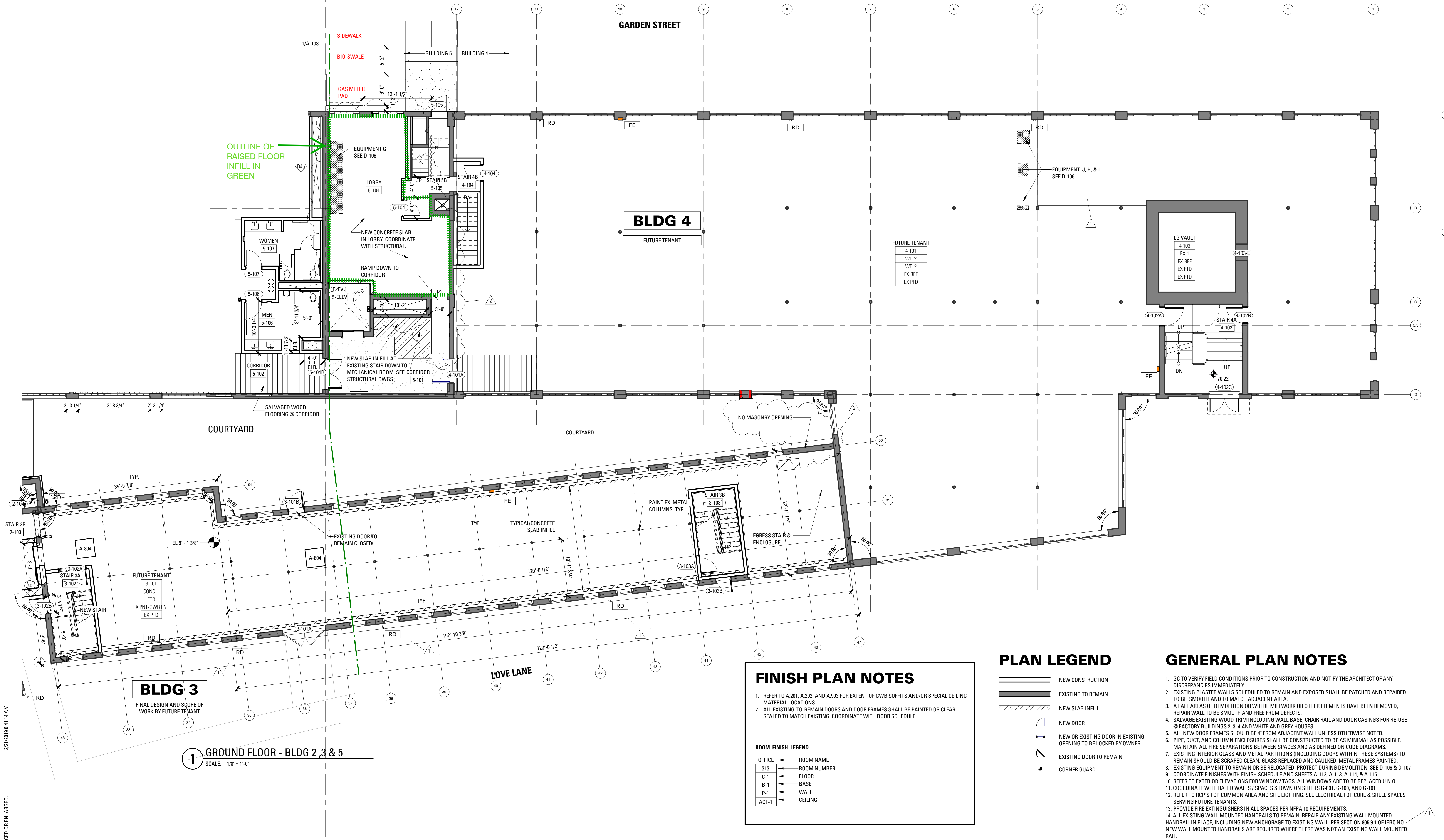


FACTORY BLDG 3 & 4 - BASEMENT FLOOR PLANS

A-101

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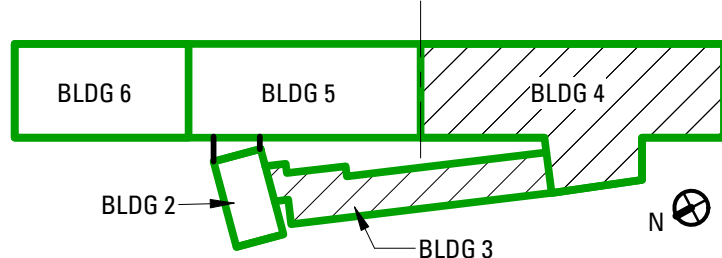
Architecture/Urban Design
Preservation/Landscape Architecture
Space Planning/Interior Design

Rev.	Date	Remarks
1	Aug. 10, 2018	Conformance Set
2	Feb 21, 2019	CB #10 - Boiler Rm Infill Floor

CONFORMANCE SET

Date AUGUST 10, 2018
Scale As indicated
Project Number 16.044

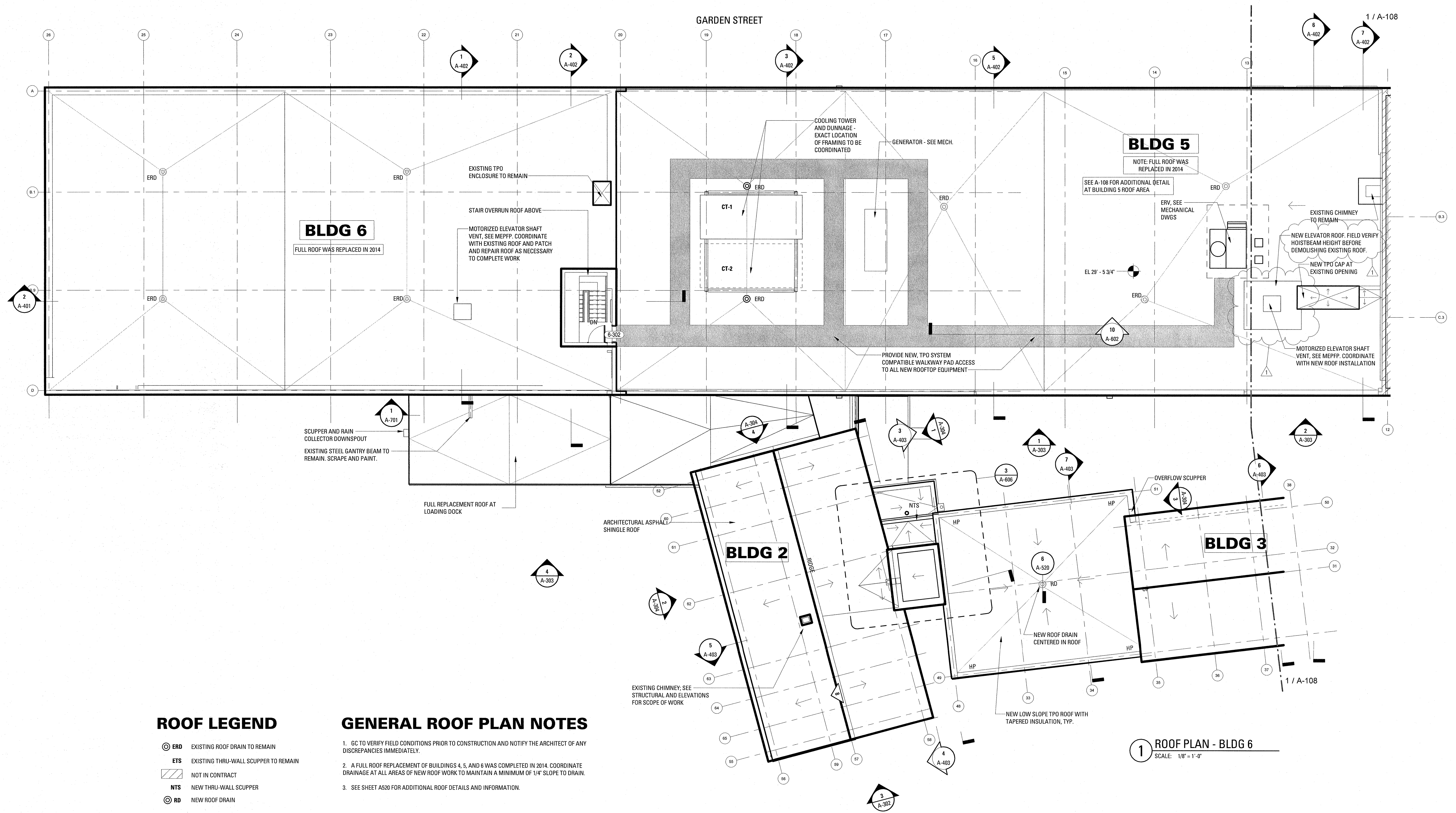
SWIFT FACTORY RENOVATION
HARTFORD, CT
FACTORY BLDG 3 & 4 - FIRST FLOOR
PLANS

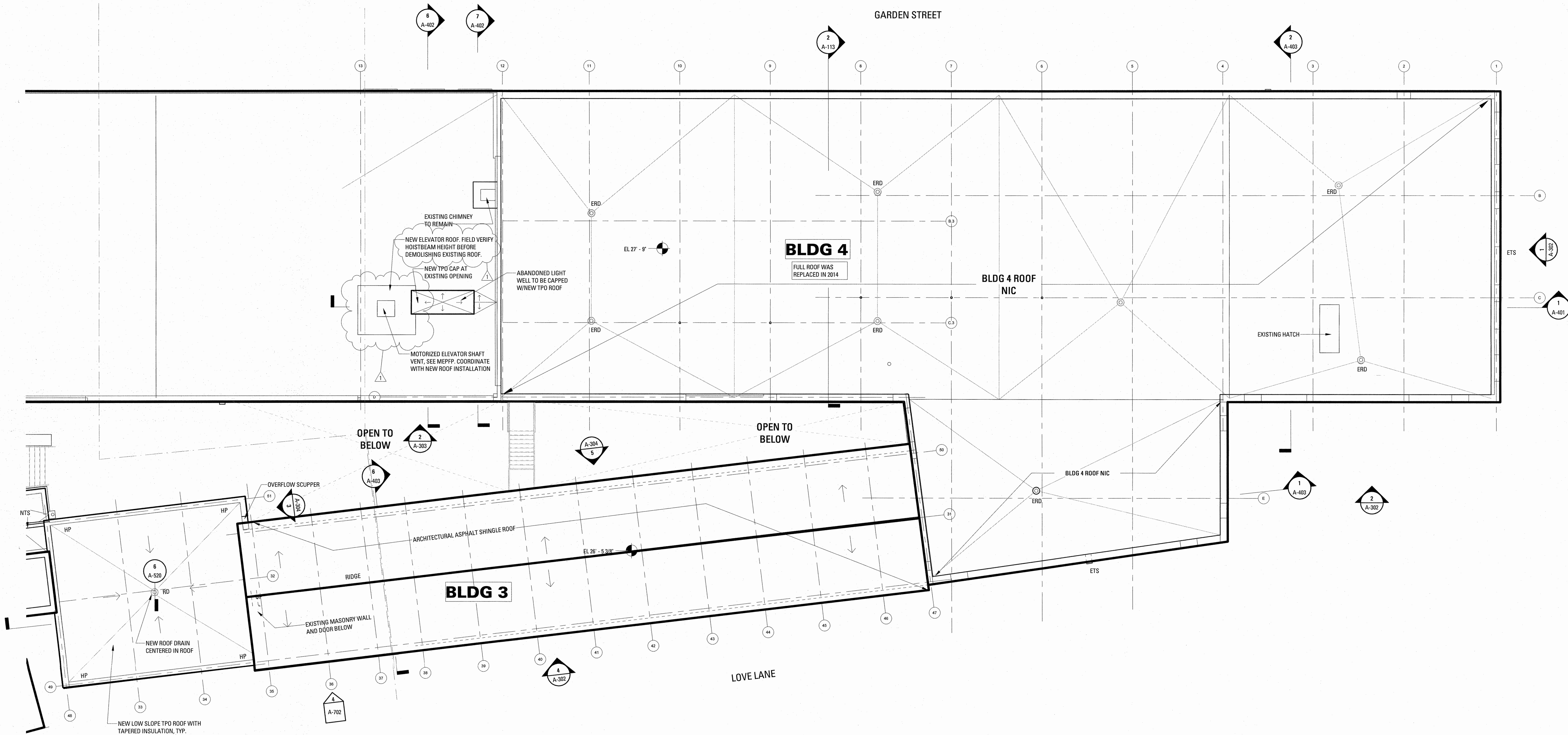


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1 FACTORY - ROOF PLAN - BLDG 3 & 4
SCALE: 1/8" = 1'-0"

ROOF LEGEND

- ⊙ ERD EXISTING ROOF DRAIN TO REMAIN
- ETS EXISTING THRU-WALL SCUPPER TO REMAIN
- ▨ NOT IN CONTRACT
- NTS NEW THRU-WALL SCUPPER
- ⊙ RD NEW ROOF DRAIN

GENERAL ROOF PLAN NOTES

- GC TO VERIFY FIELD CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
- A FULL ROOF REPLACEMENT OF BUILDINGS 4, 5, AND 6 WAS COMPLETED IN 2014. COORDINATE DRAINAGE AT ALL AREAS OF NEW ROOF WORK TO MAINTAIN A MINIMUM OF 1/4" SLOPE TO DRAIN.
- SEE SHEET A520 FOR ADDITIONAL ROOF DETAILS AND INFORMATION.

Bruner/Cott

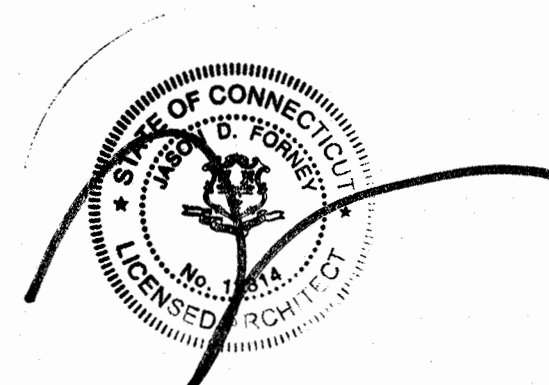
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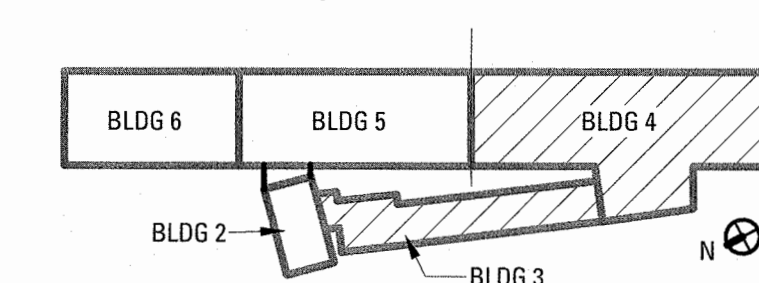
CONFORMANCE SET

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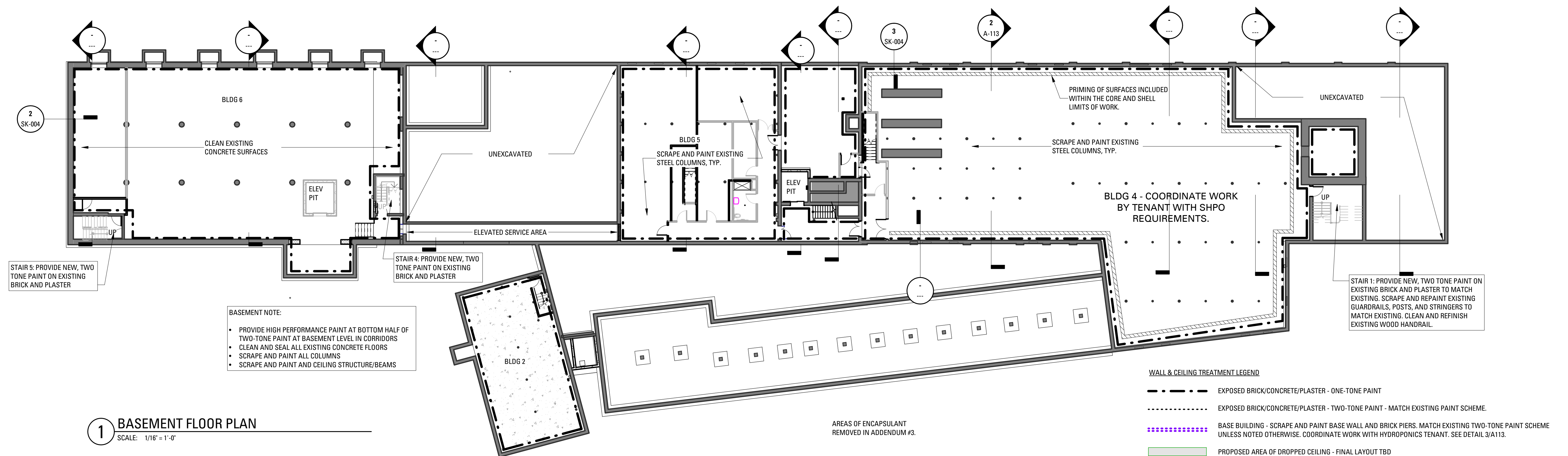
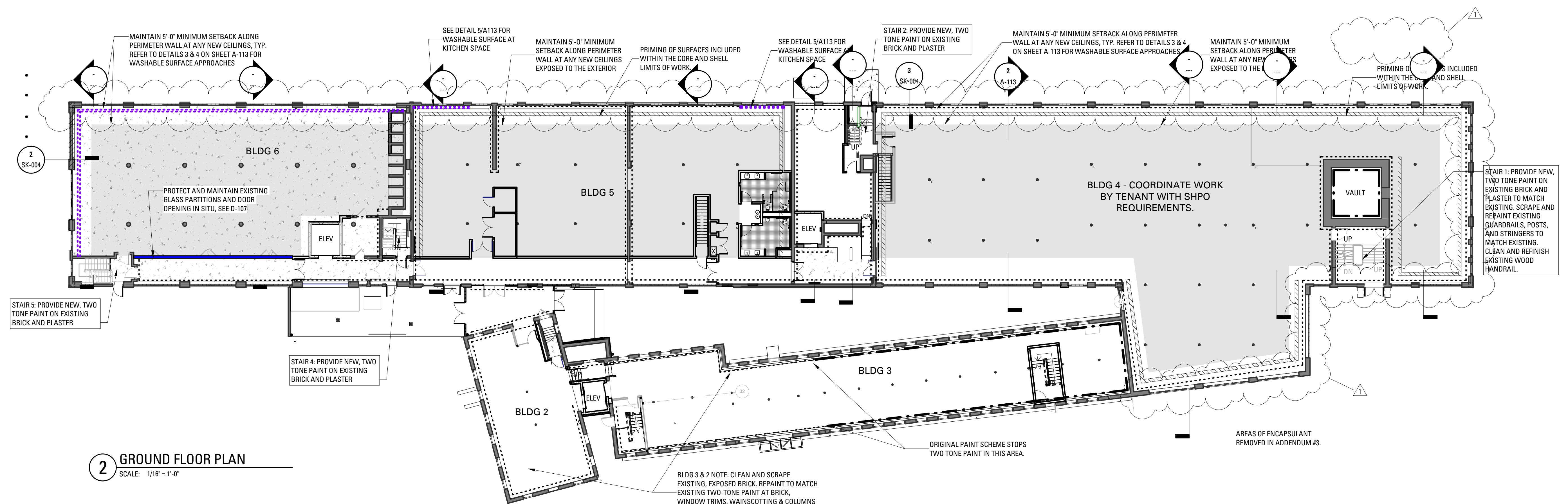


SWIFT FACTORY RENOVATION







FACTORY BLDG 3 & 4 - ROOF PLANS



A-108



WALL & CEILING TREATMENT LEGEND

- | | |
|---|--|
|  | EXPOSED BRICK/CONCRETE/PLASTER - ONE-TONE PAINT |
|  | EXPOSED BRICK/CONCRETE/PLASTER - TWO-TONE PAINT - MATCH EXISTING PAINT SCHEME. |
|  | BASE BUILDING - SCRAPE AND PAINT BASE WALL AND BRICK PIERS. MATCH EXISTING TWO-TONE PAINT SCHEME UNLESS NOTED OTHERWISE. COORDINATE WORK WITH HYDROPONICS TENANT. SEE DETAIL 3/A113. |
|  | PROPOSED AREA OF DROPPED CEILING - FINAL LAYOUT TBD |
|  | INSTALL WINDOW FILM/FROSTED GLASS |
|  | PRIMING ONLY OF SURFACES INCLUDED WITHIN THE CORE AND SHELL LIMITS OF WORK.
NOTE: ALL PAINTING AND/OR PRIMING ON TENANT AREAS IS EXCLUDED. |

GENERAL NOTES:

1. COORDINATION WITH FINISH SCHEDULE IS REQUIRED AT ALL SPACES
2. ASSUME TWO-TONE PAINT SCHEME TO MATCH EXISTING FACTORY BUILDINGS
3. PAINT ALL COMMON AREAS - WALLS AND CEILINGS - TO MATCH EXISTING AS REQUIRED BY NPS.

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Architecture/Urban Design
Preservation/Landscape Architecture
Space Planning/Interior Design

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CONFORMANCE SET

Date	MARCH 15, 2019
Scale	1/16" = 1'-0"
Project Number	16.044

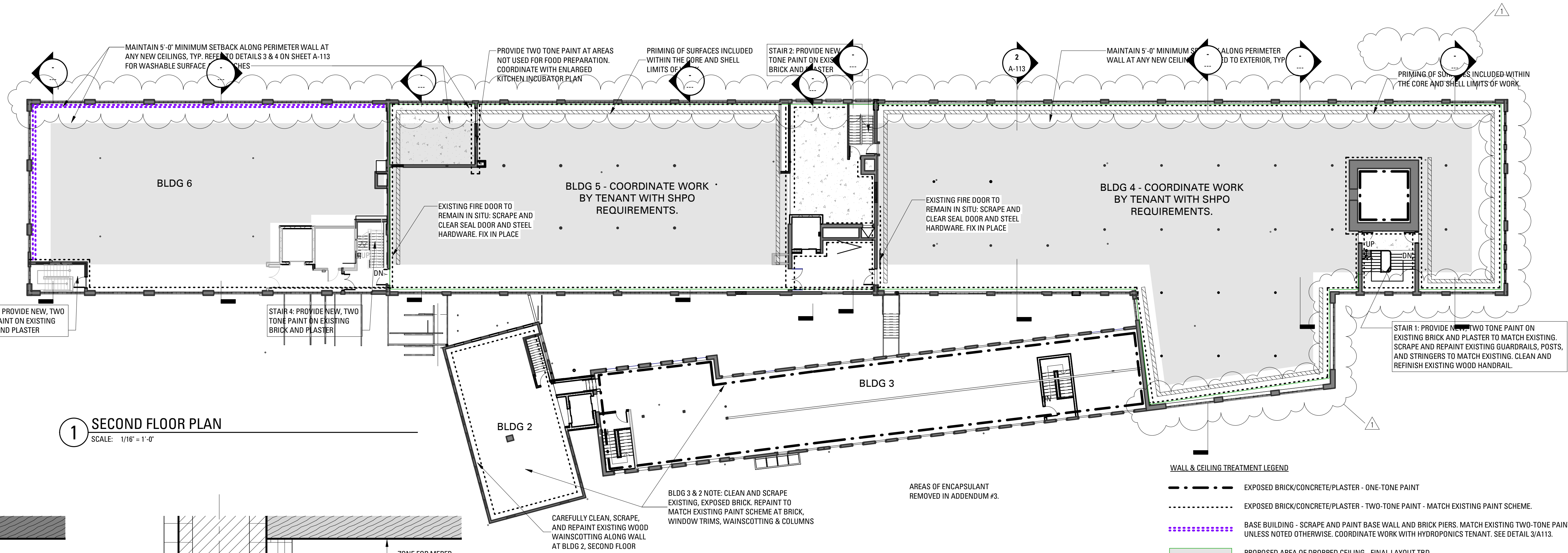
SWIFT FACTORY RENOVATION

BASEMENT & GROUND FLOOR WALL & CEILING TREATMENT

A-112

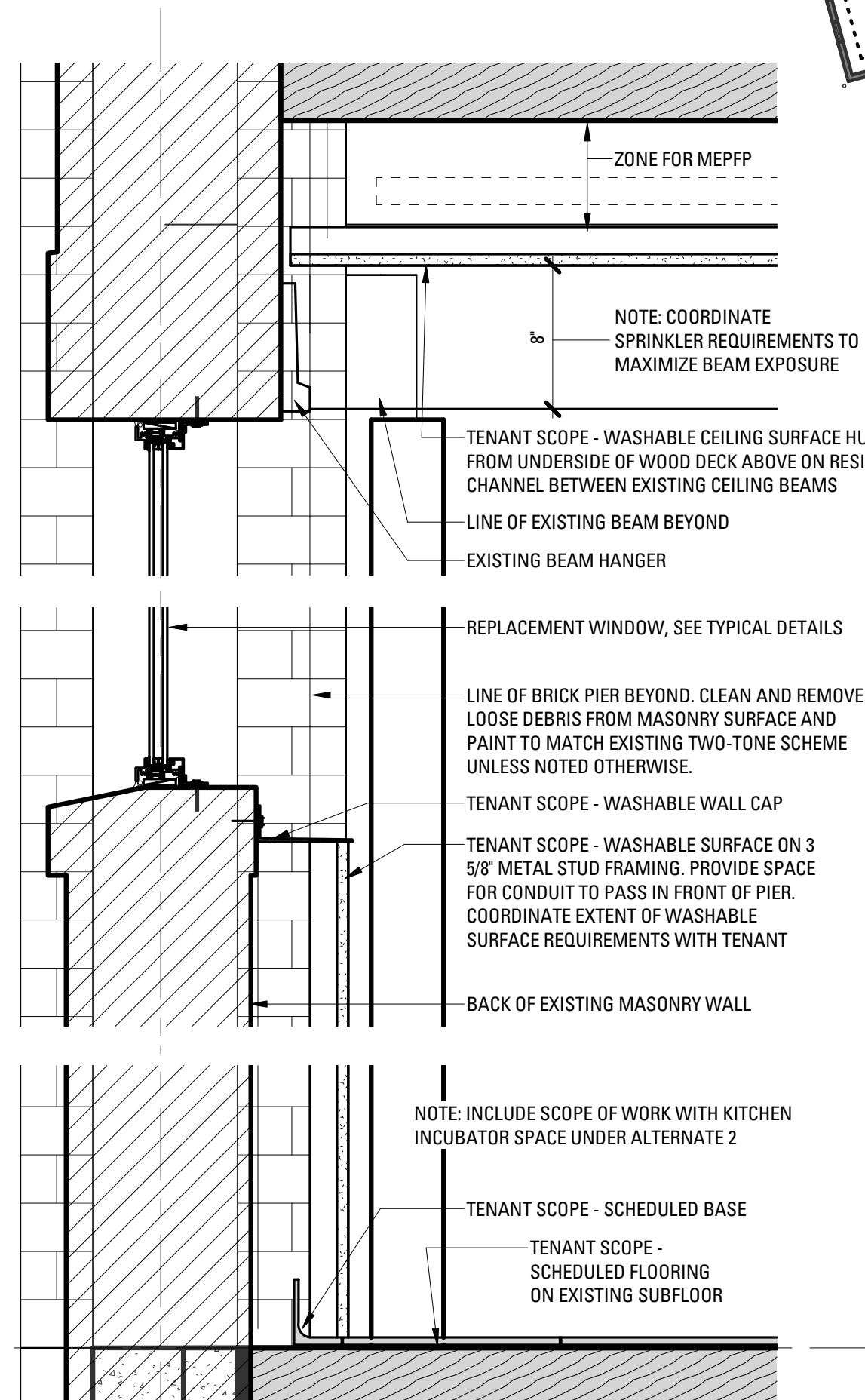
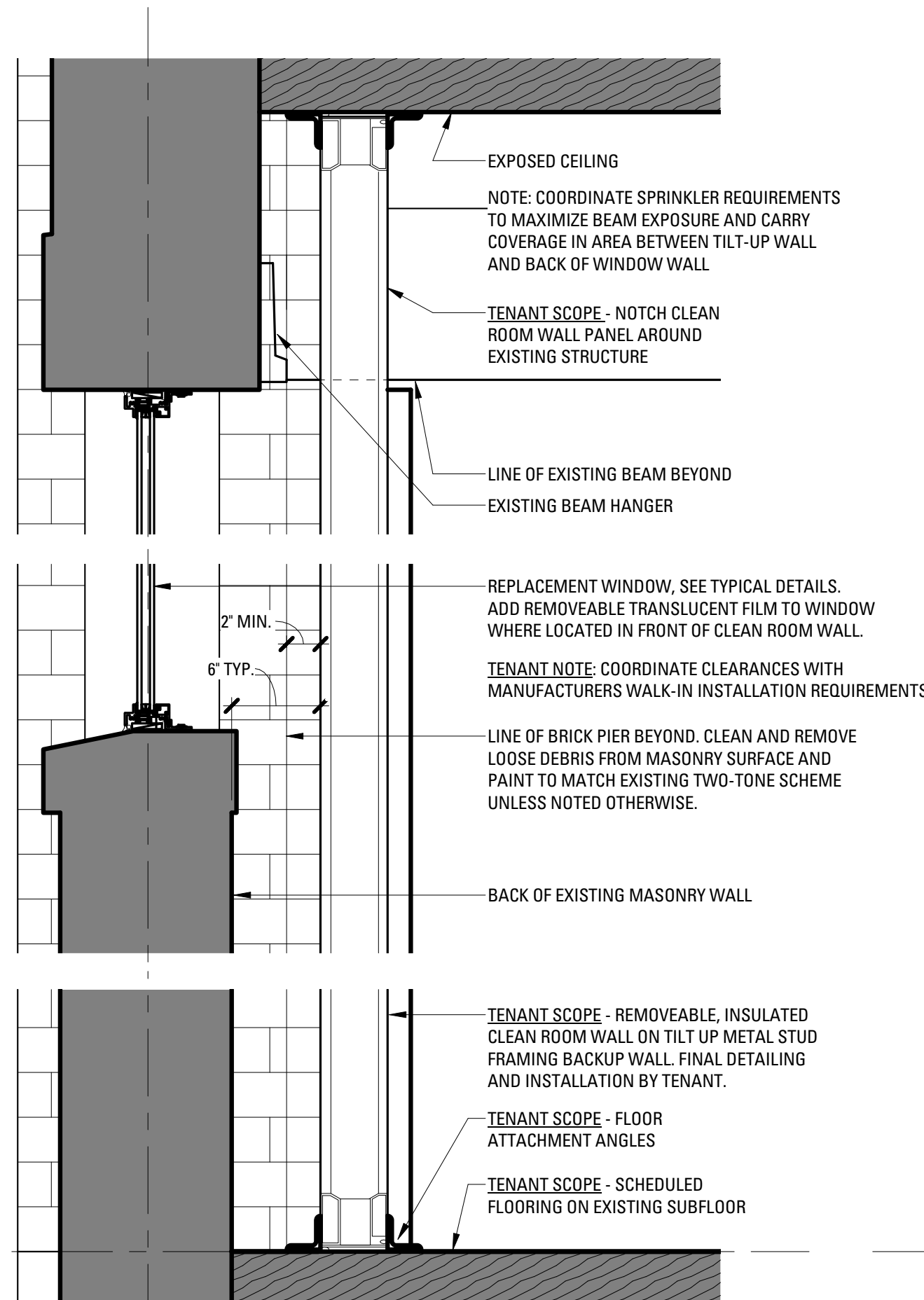
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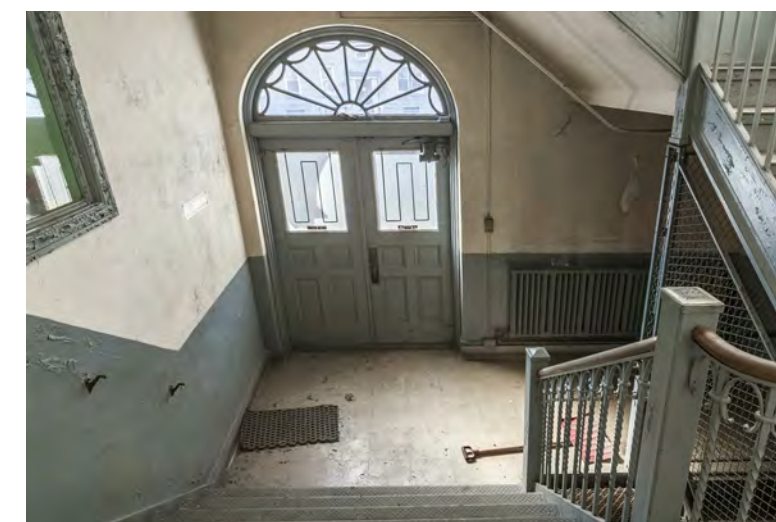


- WALL & CEILING TREATMENT LEGEND**
- EXPOSED BRICK/CONCRETE/PLASTER - ONE-TONE PAINT
 - EXPOSED BRICK/CONCRETE/PLASTER - TWO-TONE PAINT - MATCH EXISTING PAINT SCHEME.
 - BASE BUILDING - SCRAPE AND PAINT BASE WALL AND BRICK PIERS. MATCH EXISTING TWO-TONE PAINT SCHEME UNLESS NOTED OTHERWISE. COORDINATE WORK WITH HYDROPONICS TENANT. SEE DETAIL 3/A113.
 - PROPOSED AREA OF DROPPED CEILING - FINAL LAYOUT TBD
 - INSTALL WINDOW FILM/FROSTED GLASS
 - PRIMING ONLY OF SURFACES INCLUDED WITHIN THE CORE AND SHELL LIMITS OF WORK. NOTE: ALL PAINTING AND/OR PRIMING ON TENANT AREAS IS EXCLUDED.

GENERAL NOTES:
1. COORDINATION WITH FINISH SCHEDULE IS REQUIRED AT ALL SPACES
2. ASSUME TWO-TONE PAINT SCHEME TO MATCH EXISTING FACTORY BUILDINGS
3. PAINT ALL COMMON AREAS - WALLS AND CEILING - TO MATCH EXISTING AS REQUIRED BY NPS.



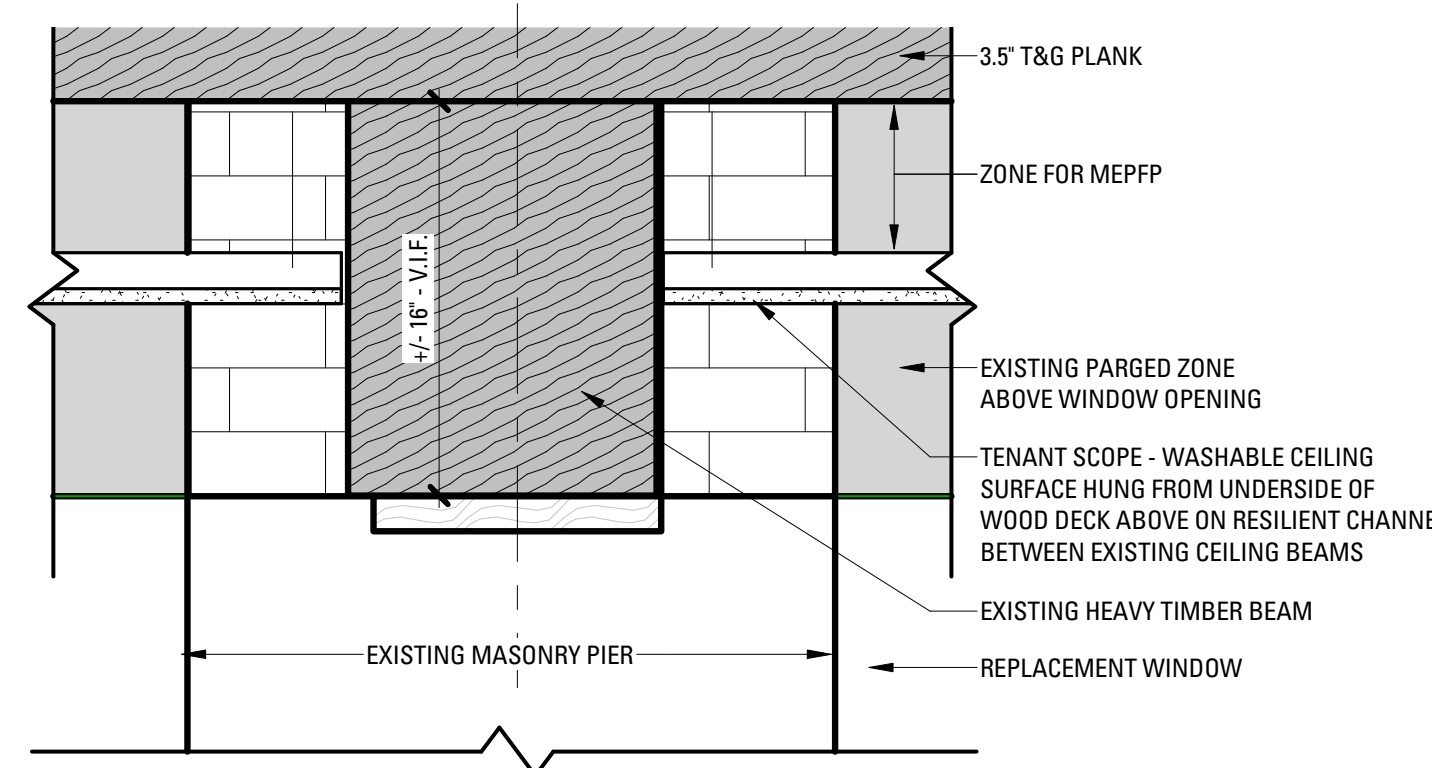
NOTE: DETAIL SHOWN IS REPRESENTATIVE OF DISCUSSIONS WITH SHPO FOR WASHABLE SURFACES AT KITCHEN SPACES. THIS WILL OCCUR AT BUILDING 6 AND BUILDING 5, FIRST FLOOR. SCOPE OF WORK BY TENANT.



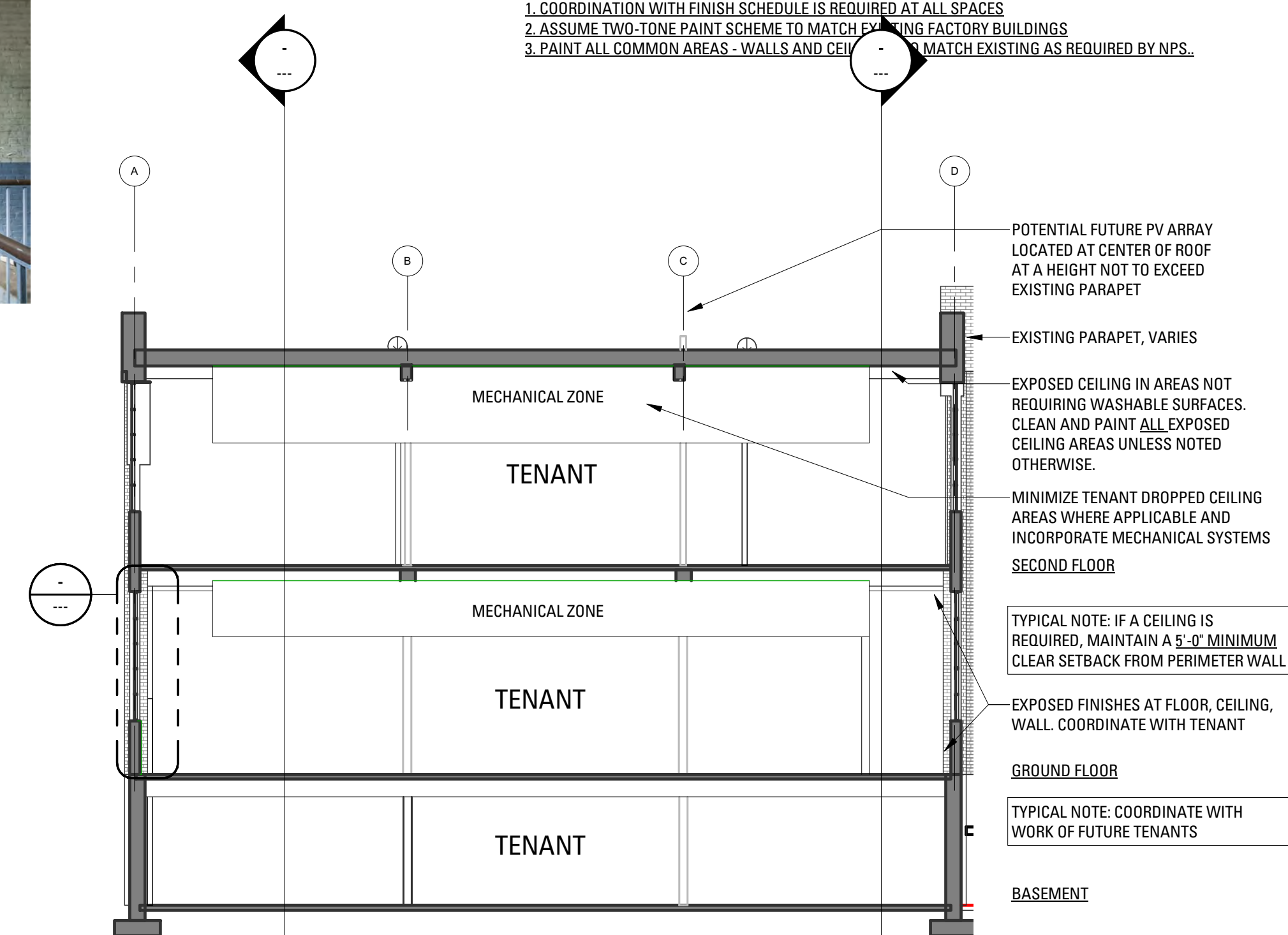
TYPICAL TWO-TONE PAINTED WAINSCOTTING AT FACTORY STAIRS BUILDING 4, STAIR 1 SHOWN



TYPICAL TWO-TONE PAINTED WAINSCOTTING AT FACTORY BUILDINGS (BLDG 5 SHOWN)



4 EAST/WEST SECTION @ BEAM
SCALE: 1 1/2" = 1'-0"



2 DIAGRAMMATIC FINISHES SECTION - BUILDING 4
SCALE: 1/8" = 1'-0"

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Rev.	Date	Remarks
1	Date 12	CB #19 - Window Film Removal

CONFORMANCE SET

Date MARCH 15, 2019
Scale As indicated
Project Number 16.044

SWIFT FACTORY RENOVATION

SECOND FLOOR WALL & CEILING
TREATMENT

A-113

ELEVATION KEY NOTES

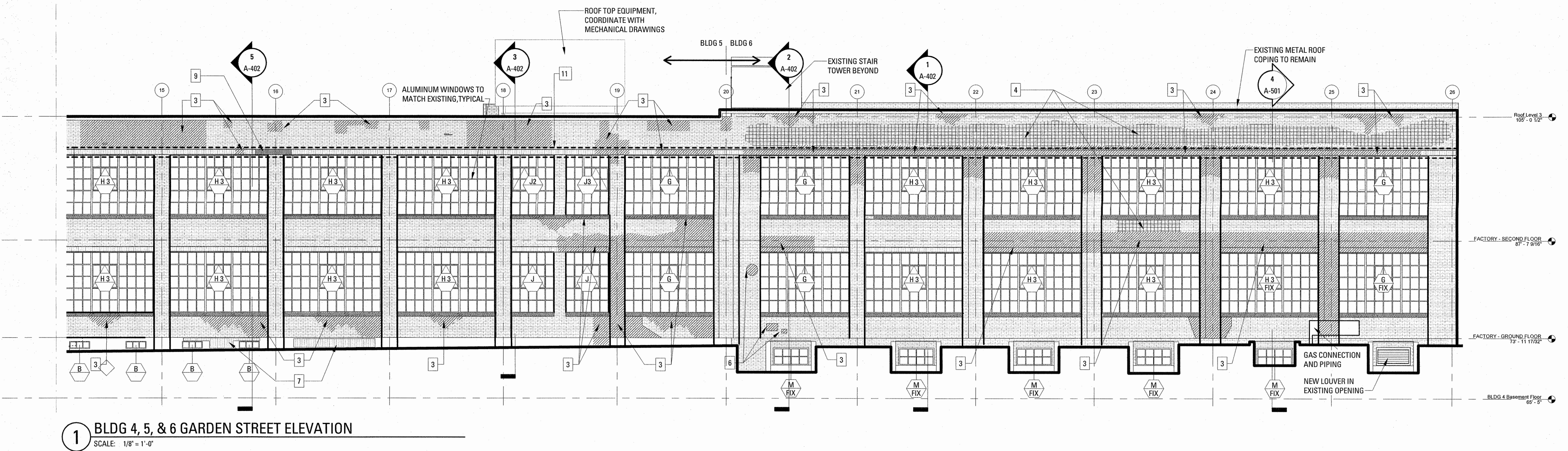
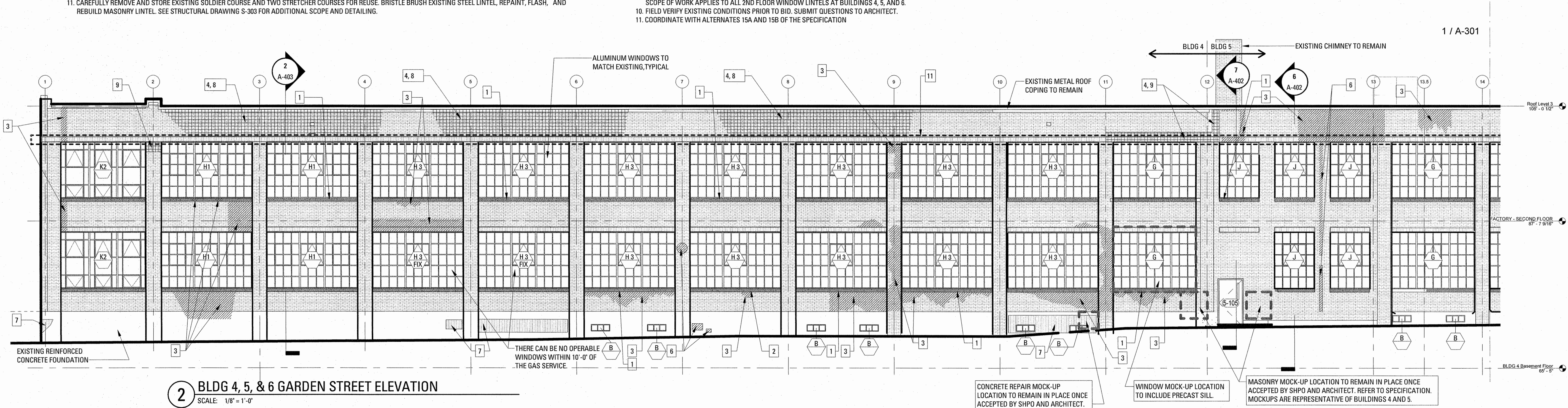
- 1. TYPICAL NOTE: REPLACE ALL EXISTING CONCRETE SILLS WITH NEW PRE-CAST CONCRETE SILLS. PERFORM A MOCKUP IN PLACE ON THE COURTYARD SIDE FOR APPROVAL
- 2. PATCH EXISTING, DAMAGED SILL
- 3. CLEAN STAINS / EFFLORESCENCE FROM BRICK
- 4. REPOINT BRICK AS REQUIRED
- 5. REPLACE OR PATCH DAMAGED OR DETERIORATING SIDING/SHINGLES. PRIME/PAINT AS DESCRIBED IN SPECIFICATION. PROFILES TO MATCH EXISTING AND FINAL COLOR TO BE SELECTED BY ARCHITECT.
- 6. PATCH/CLEAN EXISTING MASONRY/CONCRETE/WOOD SURFACES AS NEEDED WHERE EQUIPMENT HAS BEEN REMOVED.
- 7. PATCH/REPAIR EXISTING REINFORCED CONCRETE FOUNDATION. FINISH TO MATCH ADJACENT.
- 8. APPARENT WATER DAMAGE AT EXISTING PARAPET BACKUP WALL HAS CAUSED THE PARAPET TO LEAN INWARD. REFER TO STRUCTURAL REPAIR DRAWING S-303
- 9. APPARENT DAMAGE AND RUST JACKING AT EXISTING SOLDIER COURSE HEADER ABOVE WINDOW, TYPICAL THROUGHOUT BUILDINGS 4, 5, AND 6. REFER TO S-303 FOR REPAIR DETAILS.
- 10. AREA CONCEALED BY SITE OVERGROWTH. ASSUME CLEANING OF MASONRY/CONCRETE AND 20% REPOINTING IS REQUIRED.
- 11. CAREFULLY REMOVE AND STORE EXISTING SOLDIER COURSE AND TWO STRETCHER COURSES FOR REUSE. BRISTLE BRUSH EXISTING STEEL LINTEL, REPAINT, FLASH, AND REBUILD MASONRY LINTEL. SEE STRUCTURAL DRAWING S-303 FOR ADDITIONAL SCOPE AND DETAILING.

GENERAL NOTES

- 1. POWERWASH ALL MASONRY SILLS AT BUILDINGS 2 AND 3. REPLACE SILLS AT BUILDINGS 4, 5, & 6.
- 2. CONTRACTOR TO CARRY AN ADDITIONAL 20% REPOINTING PER ELEVATION
- 3. REMOVE ALL EXISTING EQUIPMENT AND CONNECTIONS FROM ELEVATION UNLESS NOTED OTHERWISE.
- 4. MAKE MASONRY REPAIRS AT AREAS AFFECTED BY ADJACENT DEMOLISHED BUILDINGS, ASSUME 75% REPOINTING IN AREAS OF REMOVAL
- 5. REMOVE EXISTING ROOF FLASHING AND ASSOCIATED MATERIALS AND AFFECTED MORTAR JOINTS. CLEAN AND REPAIR WORK AREA BEFORE REPOINTING. REFER TO SPECIFICATION.
- 6. WHERE BUILDINGS ARE SCHEDULED FOR DEMOLITION, CONTRACTOR TO MAKE EVERY EFFORT TO SALVAGE ORIGINAL BRICK FOR REUSE ELSEWHERE ON SITE.
- 7. CAREFULLY REMOVE EXISTING PAINT WHERE EXPOSED TO COURTYARD POST-DEMOLITION OF BUILDINGS.
- 8. REPLACE ALL EXISTING CAST CONCRETE SILLS WITH NEW CONCRETE CAST SILLS PER A-542
- 9. REFER TO S-303 FOR REPAIR WORK AT EXISTING FACTORY 2ND FLOOR WINDOW LINELS. THIS FULL REPAIR SCOPE OF WORK APPLIES TO ALL 2ND FLOOR WINDOW LINELS AT BUILDINGS 4, 5, AND 6.
- 10. FIELD VERIFY EXISTING CONDITIONS PRIOR TO BID. SUBMIT QUESTIONS TO ARCHITECT.
- 11. COORDINATE WITH ALTERNATES 15A AND 15B OF THE SPECIFICATION

ELEVATION LEGEND

- EXISTING TO BE REMOVED
- DAMAGED SILL, SEE ALSO KEY NOTES
- CLEAN EXISTING MASONRY, SEE ALSO KEY NOTES
- PATCH/REPAIR EXISTING CONCRETE/MASONRY
- REPLACE EXISTING MASONRY
- REPOINT EXISTING MASONRY



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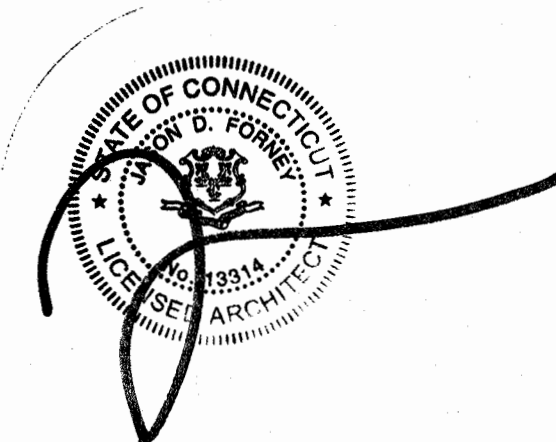
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Rev.	Date	Remarks

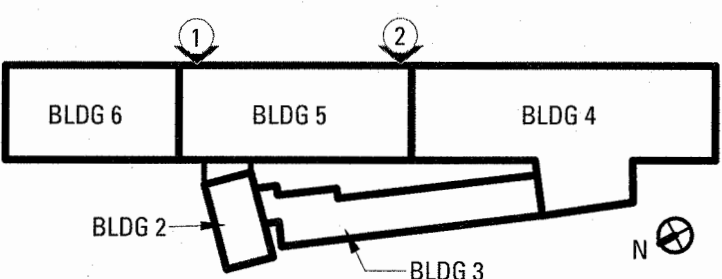
CONFORMANCE SET

Date AUGUST 10, 2018
Scale As indicated
Project Number 16.044



SWIFT FACTORY RENOVATION

FACTORY BUILDING ELEVATIONS



A-301

ELEVATION KEY NOTES

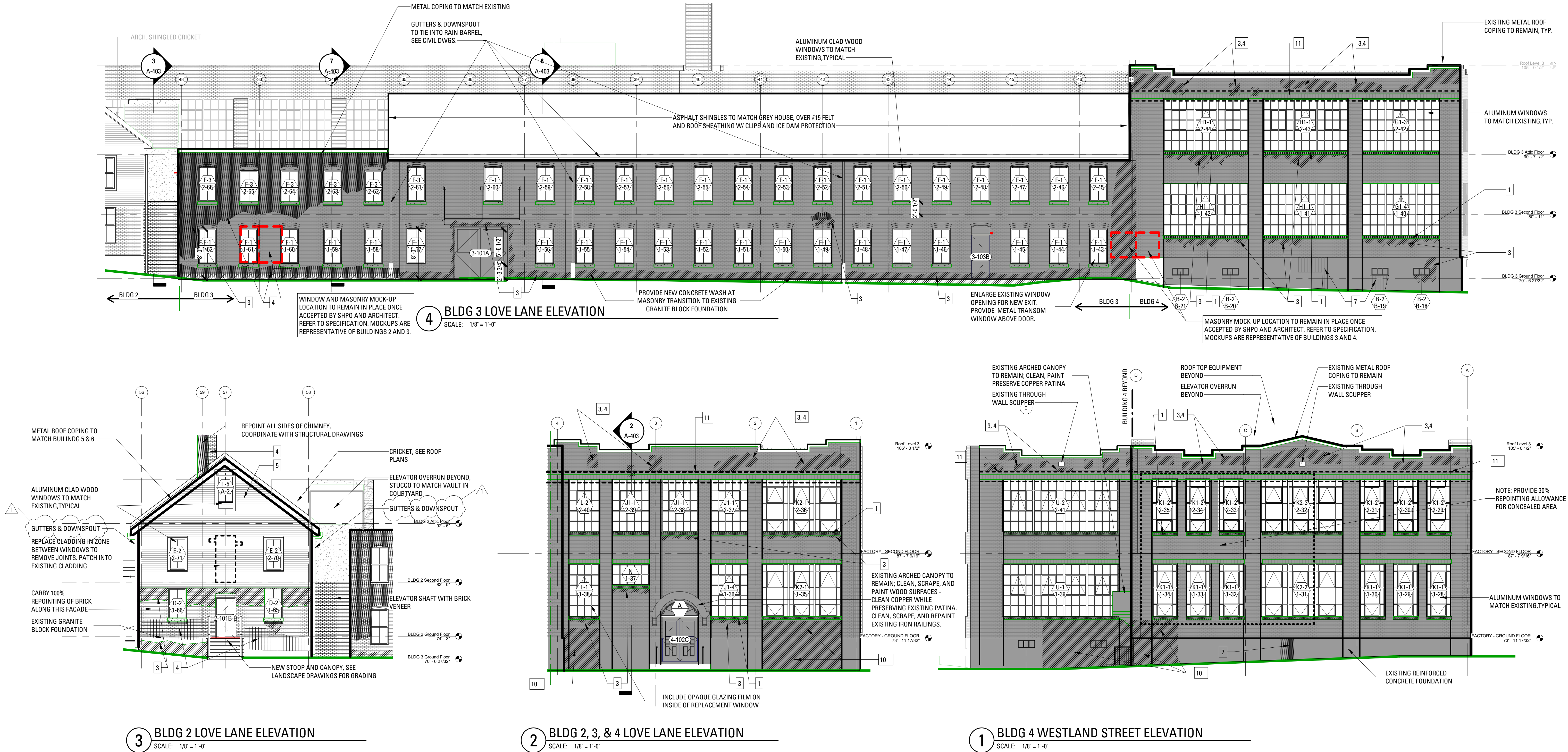
- 1. TYPICAL NOTE: REPLACE ALL EXISTING CONCRETE SILLS WITH NEW PRE-CAST CONCRETE SILLS. PERFORM A MOCKUP IN PLACE ON THE COURTYARD SIDE FOR APPROVAL
- 2. PATCH EXISTING, DAMAGED SILL
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- 4. REPOINT BRICK AS REQUIRED
- 5. REPLACE OR PATCH DAMAGED OR DETERIORATING SIDING/SHINGLES. PRIME/Paint AS DESCRIBED IN SPECIFICATION. PROFILES TO MATCH EXISTING AND FINAL COLOR TO BE SELECTED BY ARCHITECT.
- 6. PATCH/CLEAN EXISTING MASONRY/CONCRETE/WOOD SURFACES AS NEEDED WHERE EQUIPMENT HAS BEEN REMOVED.
- 7. PATCH/REPAIR EXISTING REINFORCED CONCRETE FOUNDATION. FINISH TO MATCH ADJACENT.
- 8. APPARENT WATER DAMAGE AT EXISTING PARAPET BACKUP WALL HAS CAUSED THE PARAPET TO LEAN INWARD. REFER TO STRUCTURAL REPAIR DRAWING S-303 FOR REPAIR DETAILS.
- 9. APPARENT DAMAGE AND RUST JACKING AT EXISTING SOLDIER COURSE HEADER ABOVE WINDOW, TYPICAL THROUGHOUT BUILDINGS 4, 5, AND 6. REFER TO S-303 FOR REPAIR DETAILS.
- 10. AREA CONCEALED BY SITE OVERGROWTH. ASSUME CLEANING OF MASONRY/CONCRETE AND 20% REPOINTING IS REQUIRED.
- 11. CAREFULLY REMOVE AND STORE EXISTING SOLDIER COURSE AND TWO STRETCHER COURSES FOR REUSE. BRISTLE BRUSH EXISTING STEEL LINTEL, REPAINT, FLASH, AND REBUILD MASONRY LINTEL. SEE STRUCTURAL DRAWING S-303 FOR ADDITIONAL SCOPE AND DETAILING.

GENERAL NOTES

- 1. POWERWASH ALL MASONRY SILLS AT BUILDINGS 2 AND 3. REPLACE SILLS AT BUILDINGS 4, 5, & 6.
- 2. CONTRACTOR TO CARRY AN ADDITIONAL 20% REPOINTING PER ELEVATION
- 3. REMOVE ALL EXISTING EQUIPMENT AND CONNECTIONS FROM ELEVATION UNLESS NOTED OTHERWISE.
- 4. MAKE MASONRY REPAIRS AT AREAS AFFECTED BY ADJACENT DEMOLISHED BUILDINGS, ASSUME 75% REPOINTING IN AREAS OF REMOVAL.
- 5. REMOVE EXISTING ROOF FLASHING AND ASSOCIATED MATERIALS AND AFFECTED MORTAR JOINTS. CLEAN AND REPAIR WORK AREA BEFORE REPOINTING. REFER TO SPECIFICATION.
- 6. WHERE BUILDINGS ARE SCHEDULED FOR DEMOLITION, CONTRACTOR TO MAKE EVERY EFFORT TO SALVAGE ORIGINAL BRICK FOR REUSE ELSEWHERE ON SITE.
- 7. CAREFULLY REMOVE EXISTING PAINT WHERE EXPOSED TO COURTYARD POST-DEMOLITION OF BUILDINGS.
- 8. REPLACE ALL EXISTING CAST CONCRETE SILLS WITH NEW CONCRETE CAST SILLS PER A-542.
- 9. REFER TO S-303 FOR REPAIR WORK AT EXISTING FACTORY 2ND FLOOR WINDOW LINTELS. THIS FULL REPAIR SCOPE OF WORK APPLIES TO ALL 2ND FLOOR WINDOW LINTELS AT BUILDINGS 4, 5, AND 6.
- 10. FIELD VERIFY EXISTING CONDITIONS PRIOR TO BID. SUBMIT QUESTIONS TO ARCHITECT.
- 11. COORDINATE WITH ALTERNATES 15A AND 15B OF THE SPECIFICATION

ELEVATION LEGEND

- EXISTING TO BE REMOVED
- PATCH/REPAIR EXISTING CONCRETE/MASONRY
- DAMAGED SILL, SEE ALSO KEY NOTES
- REPLACE EXISTING MASONRY
- CLEAN EXISTING MASONRY, SEE ALSO KEY NOTES
- REPOINT EXISTING MASONRY



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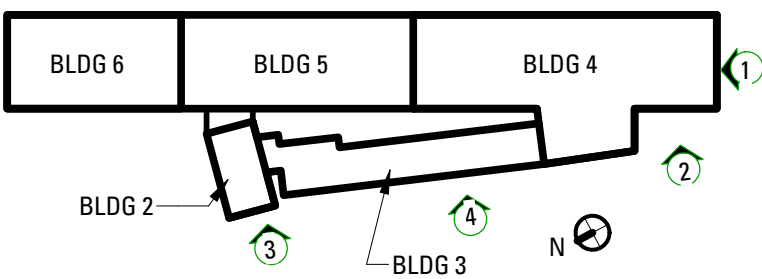
Rev.	Date	Remarks
1	Date 11	CB #18 - Rainwater Leader Revisions

CONFORMANCE SET

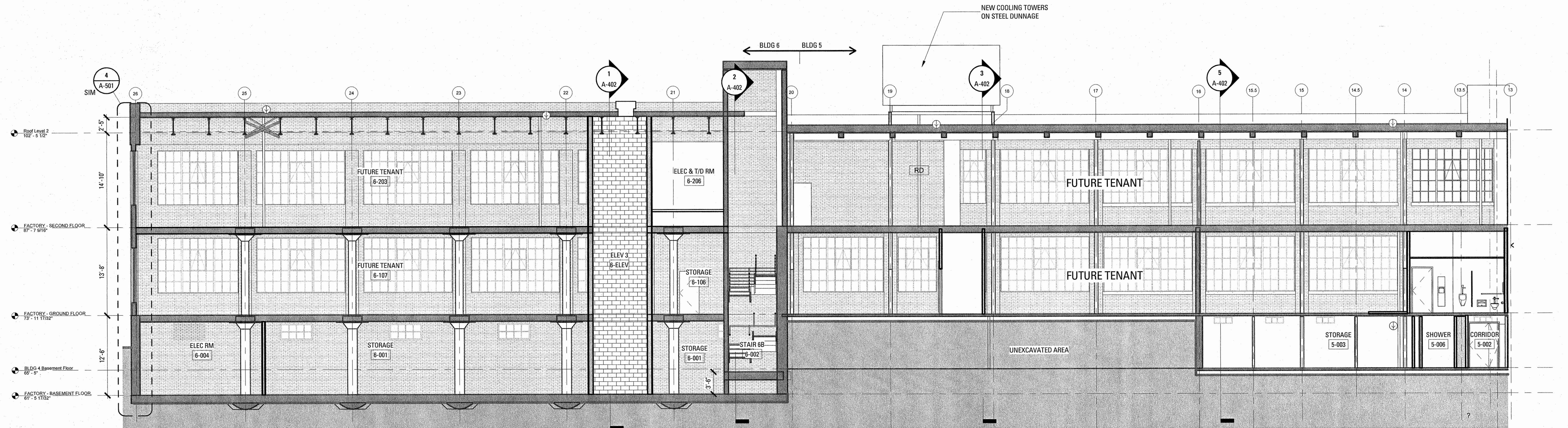
Date MARCH 15, 2019
Scale As indicated
Project Number 16.044

SWIFT FACTORY RENOVATION

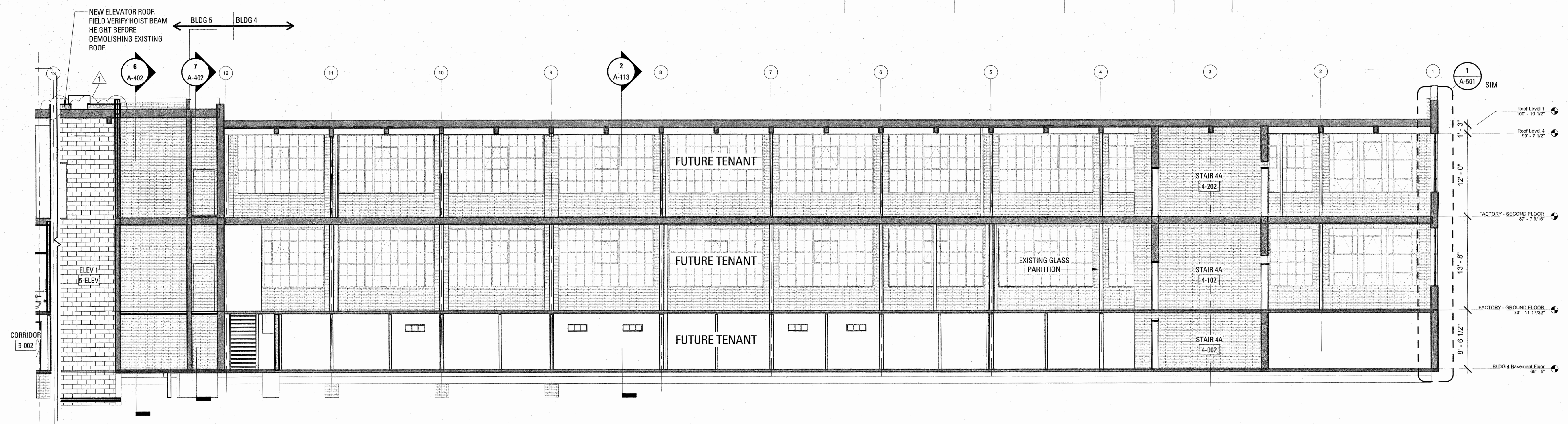
FACTORY BUILDING ELEVATIONS



A-302



2 SECTION @ BLDG 4, 5, & 6
SCALE: 1/8" = 1'-0"



1 SECTION @ BLDG 4, 5, & 6
SCALE: 1/8" = 1'-0"

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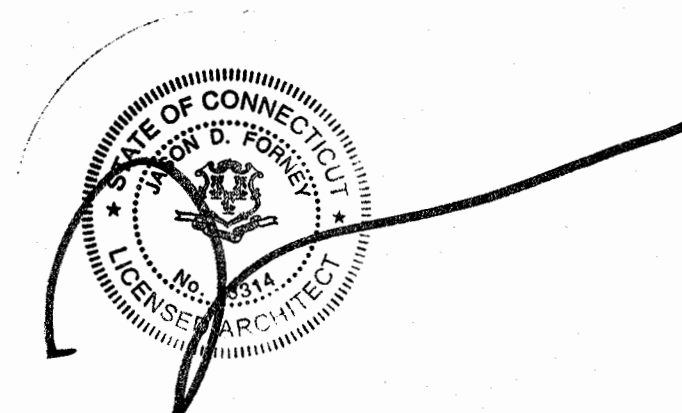
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Rev.	Date	Remarks
1	Aug. 10, 2018	Conformance Set

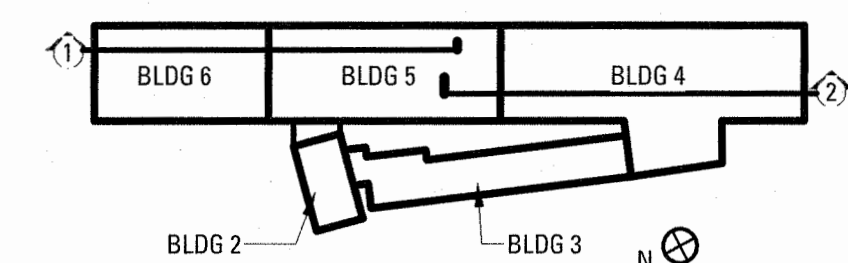
CONFORMANCE SET

Date AUGUST 10, 2018
Scale As indicated
Project Number 16.044

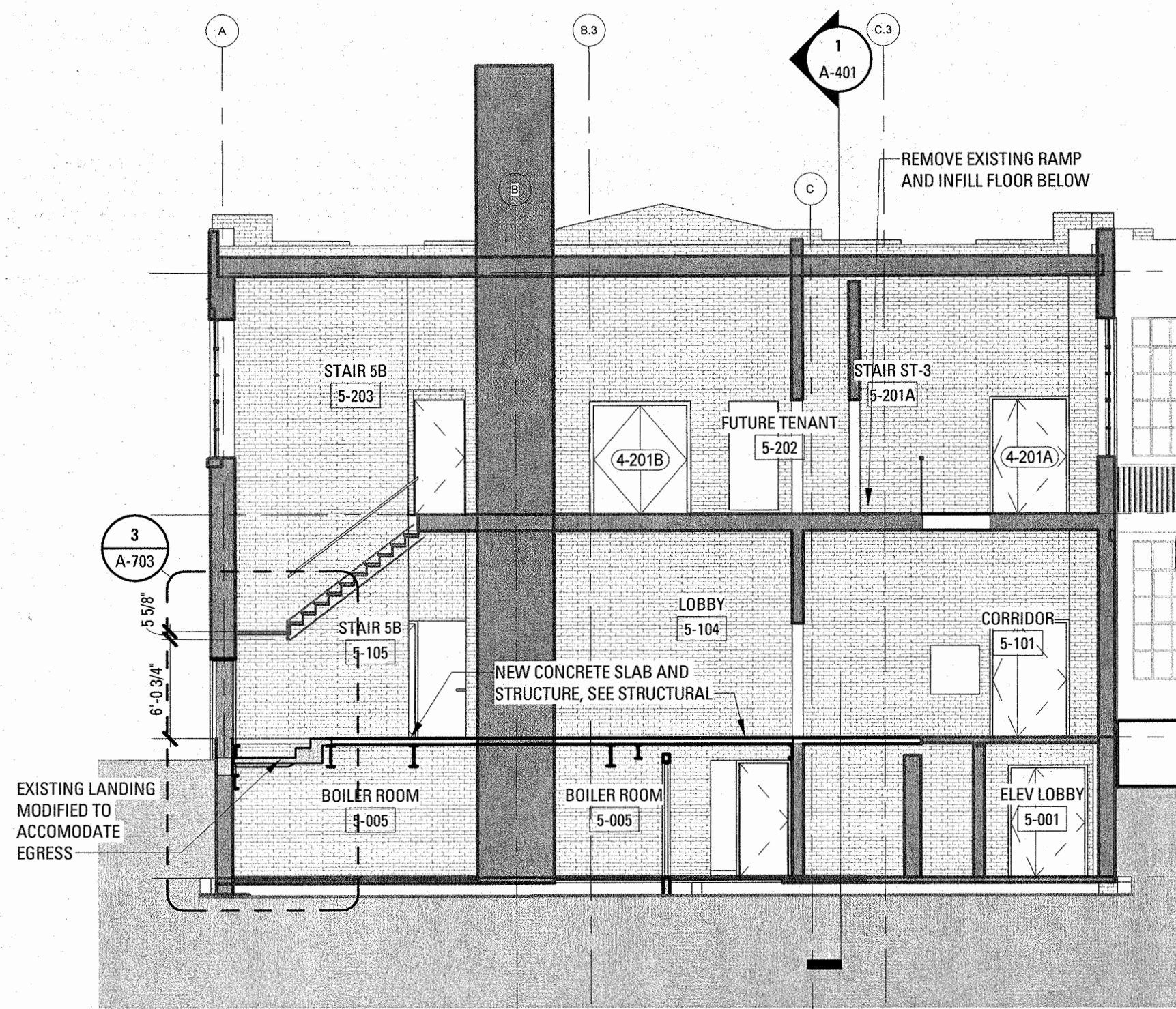


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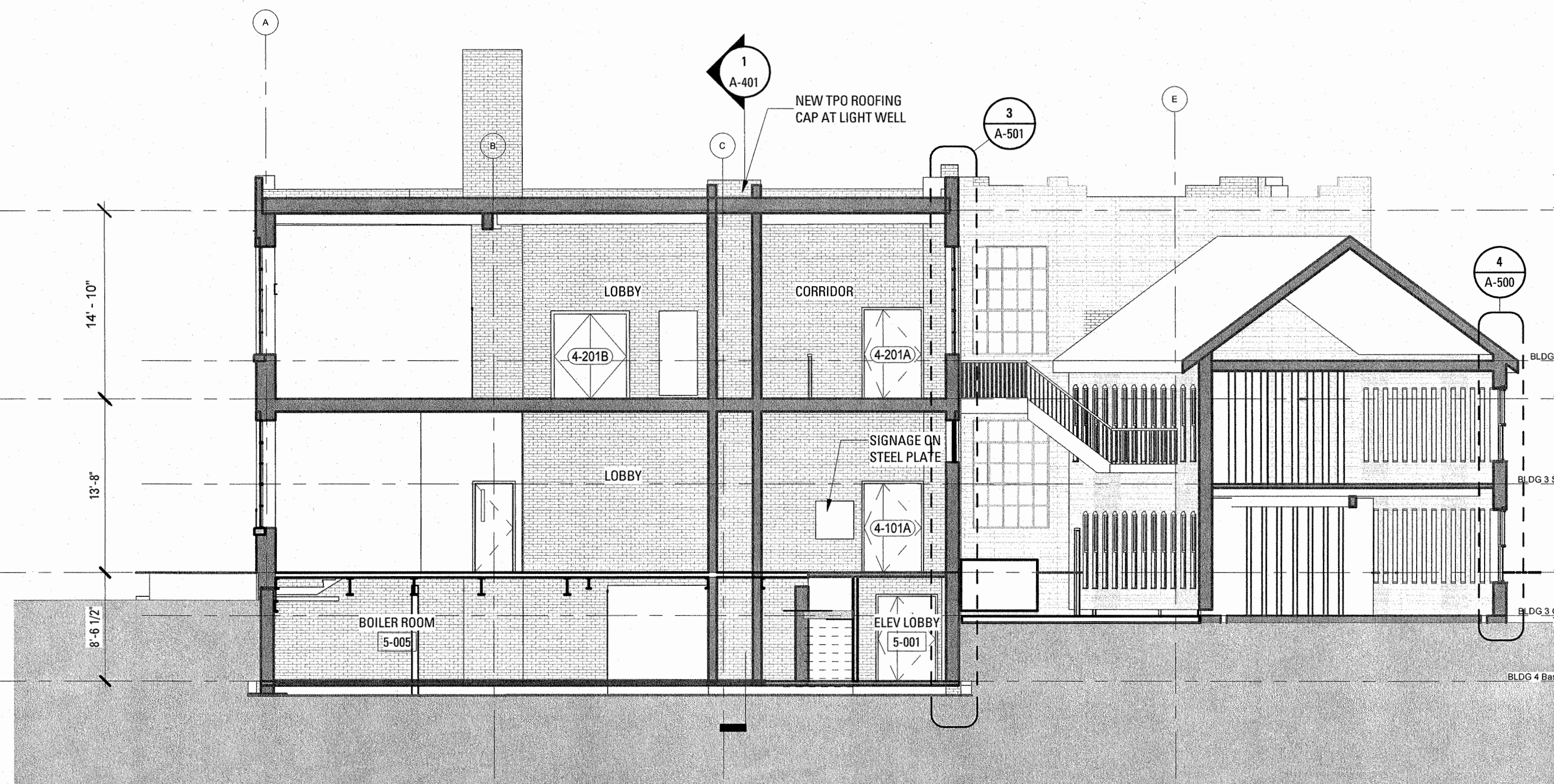
BUILDING SECTIONS



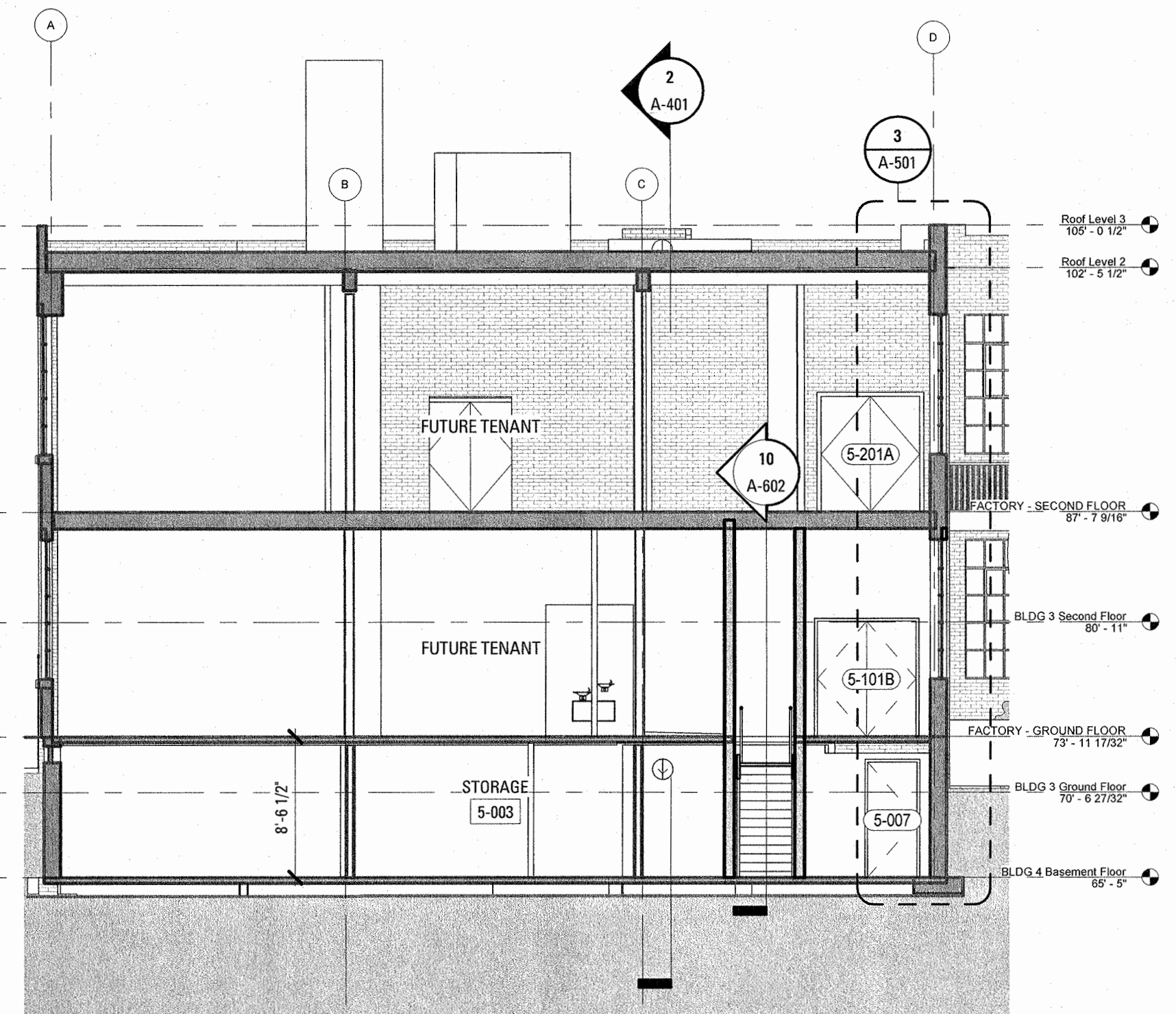
A-401



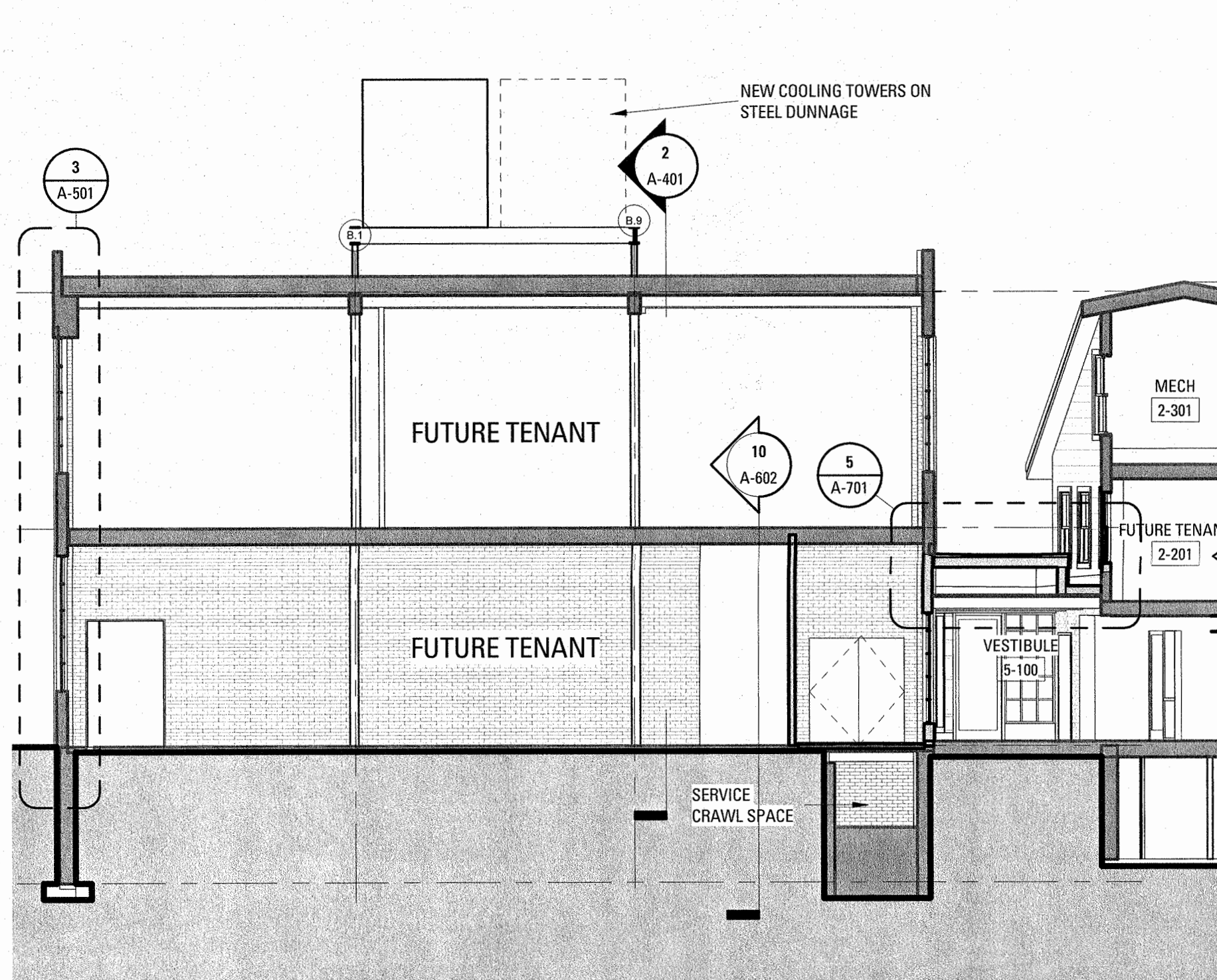
7 SECTION @ BLDG 5 @ LOBBY
SCALE: 1/8" = 1'-0"



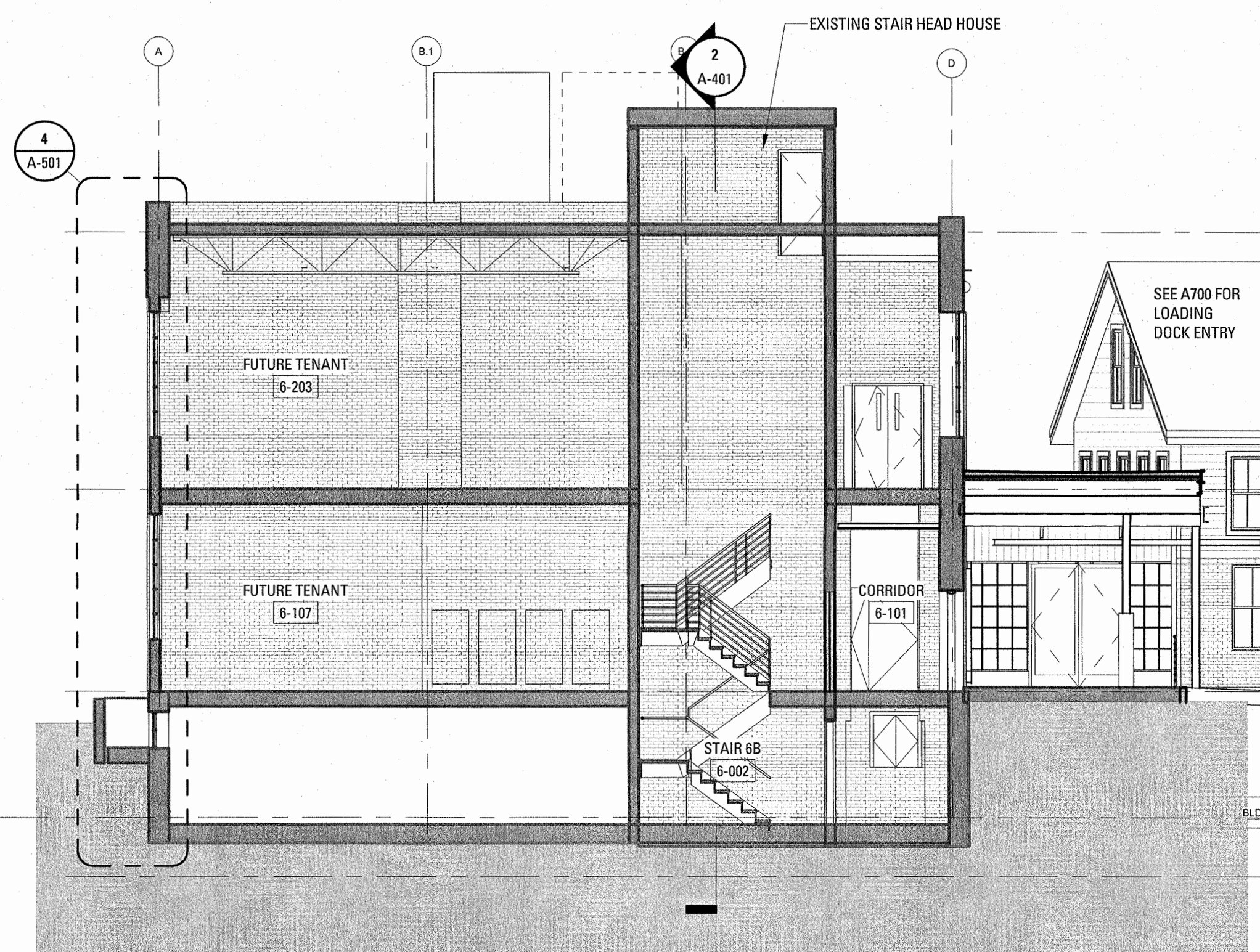
6 SECTION @ BLDG 5 @ LOBBY
SCALE: 1/8" = 1'-0"



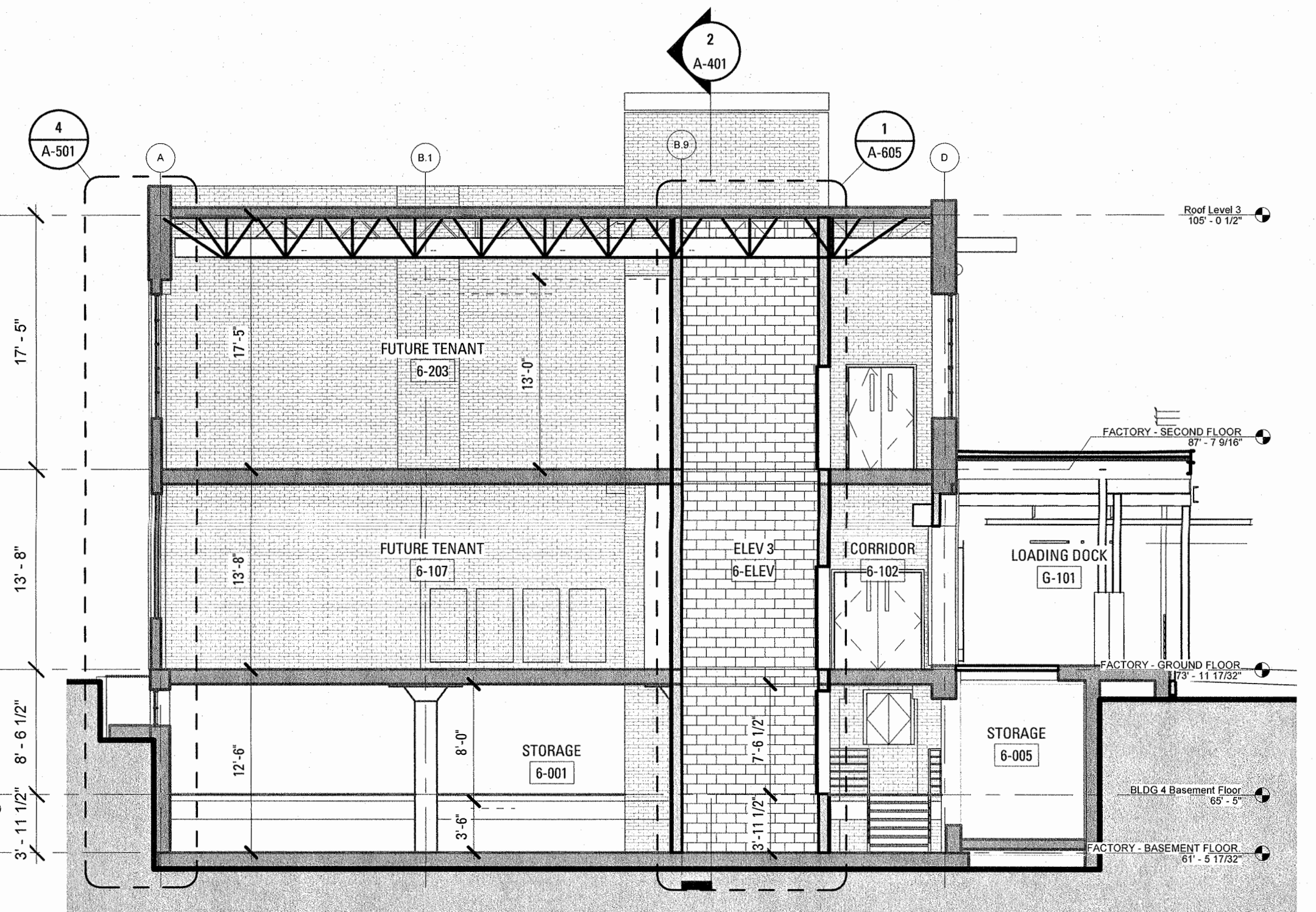
5 SECTION @ BLDG 5
SCALE: 1/8" = 1'-0"



3 SECTION @ BLDG 5
SCALE: 1/8" = 1'-0"



2 SECTION @ BLDG 6 PLINTH
SCALE: 1/8" = 1'-0"



1 SECTION @ BLDG 6
SCALE: 1/8" = 1'-0"

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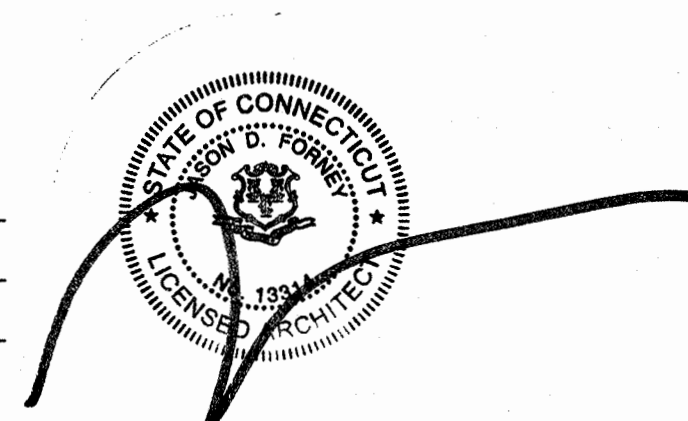
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Rev.	Date	Remarks

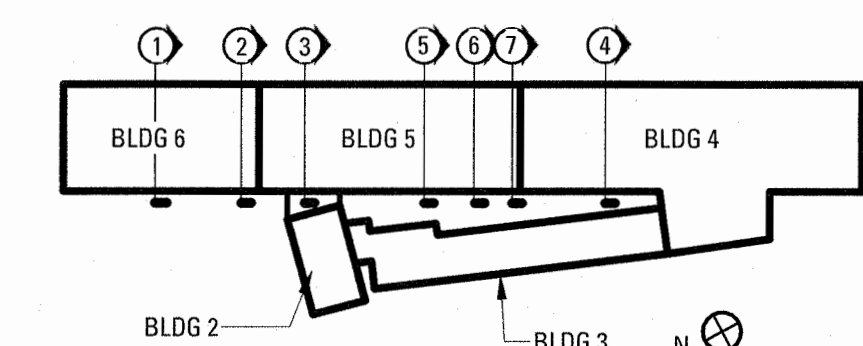
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Date AUGUST 10, 2018
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Project Number 16.044

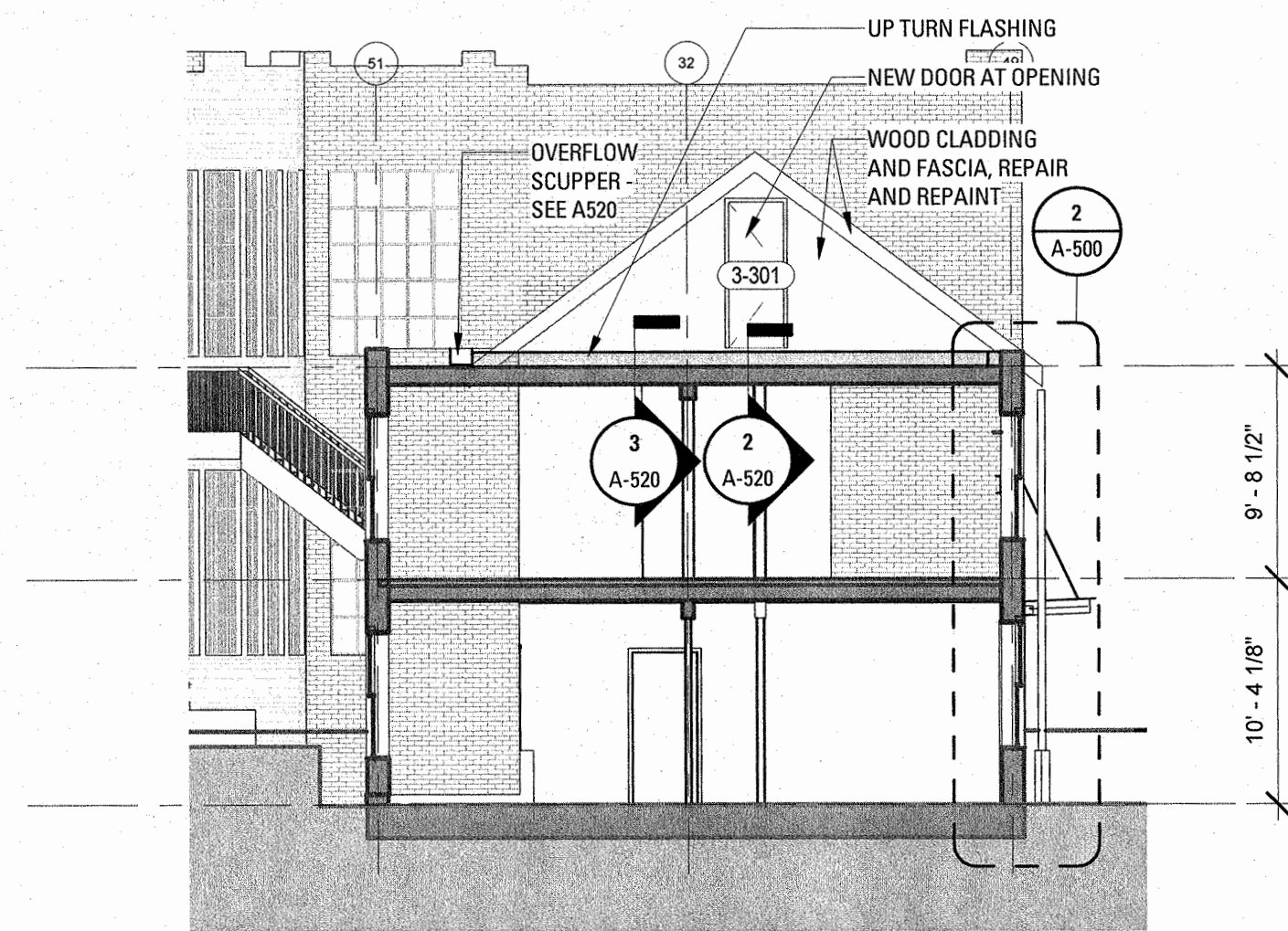


SWIFT FACTORY RENOVATION

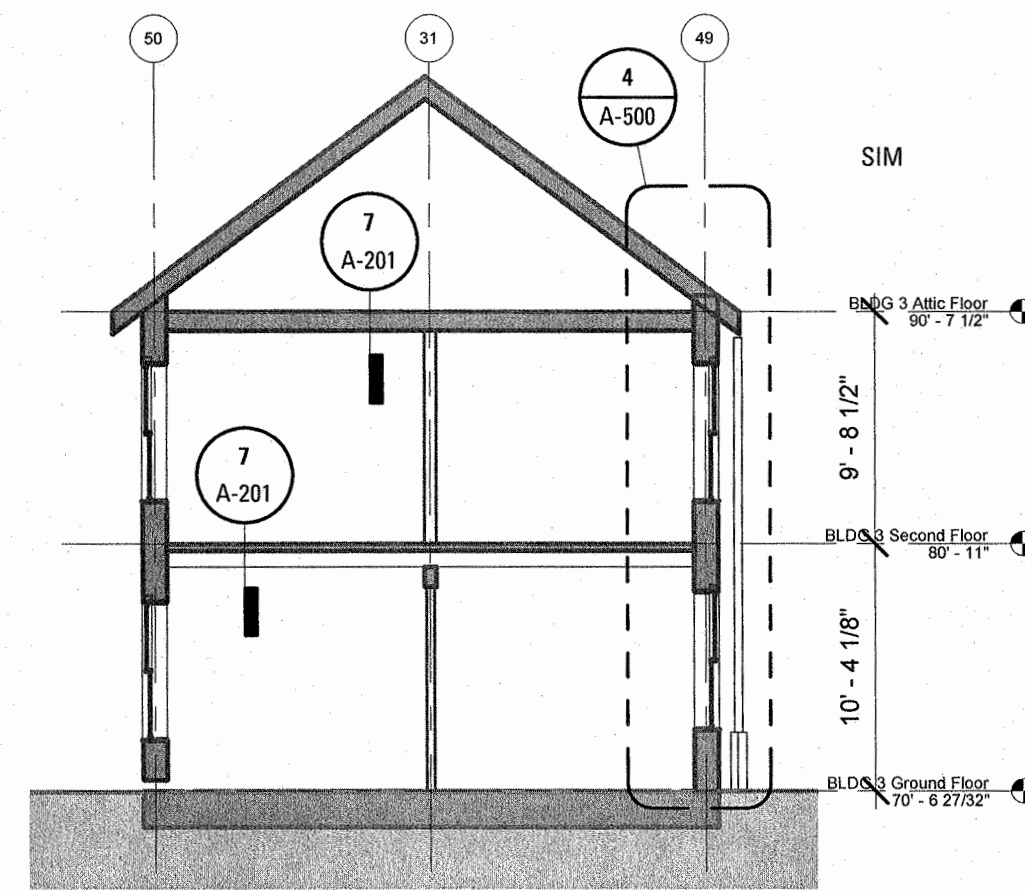
BUILDING SECTIONS



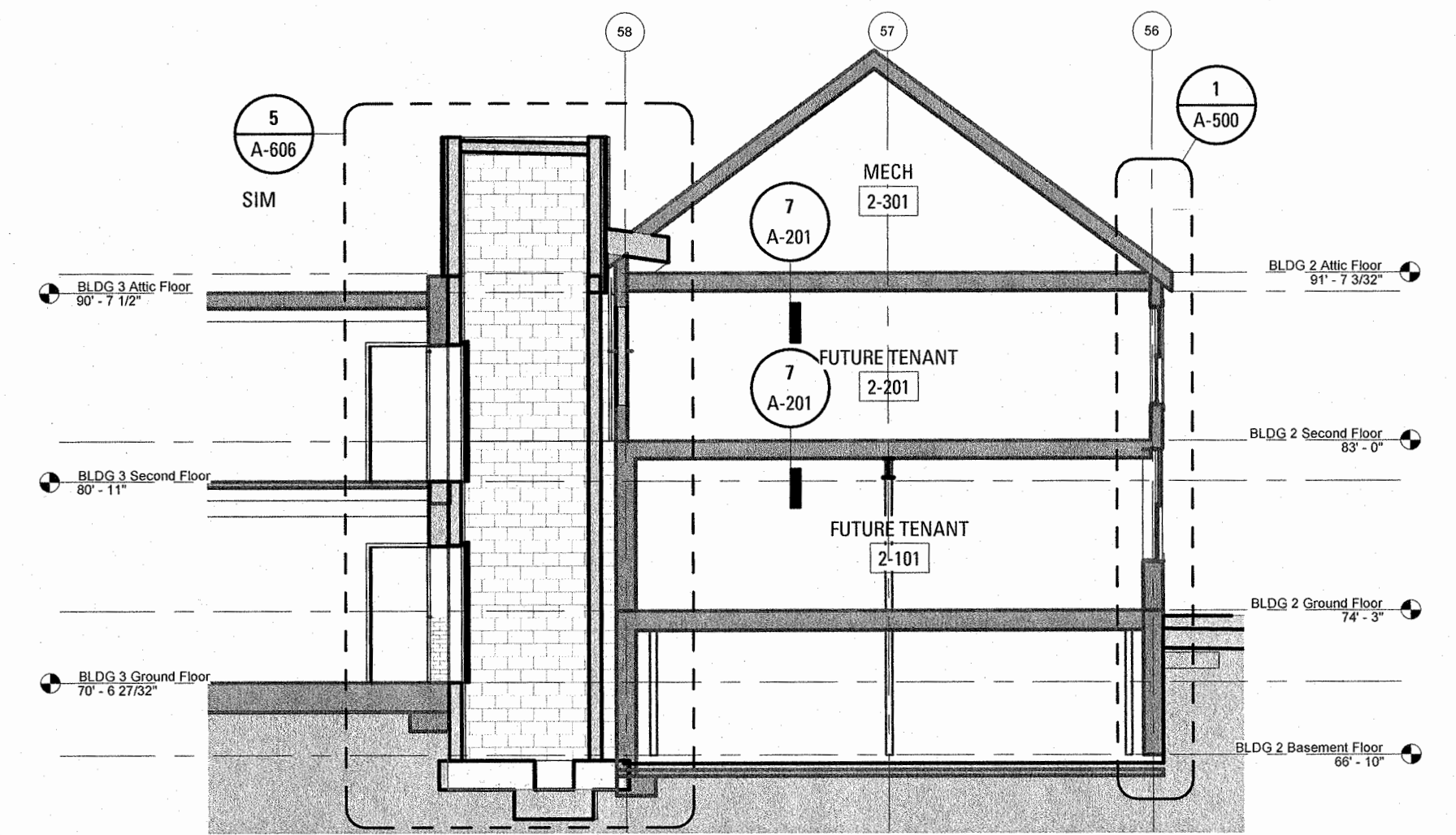
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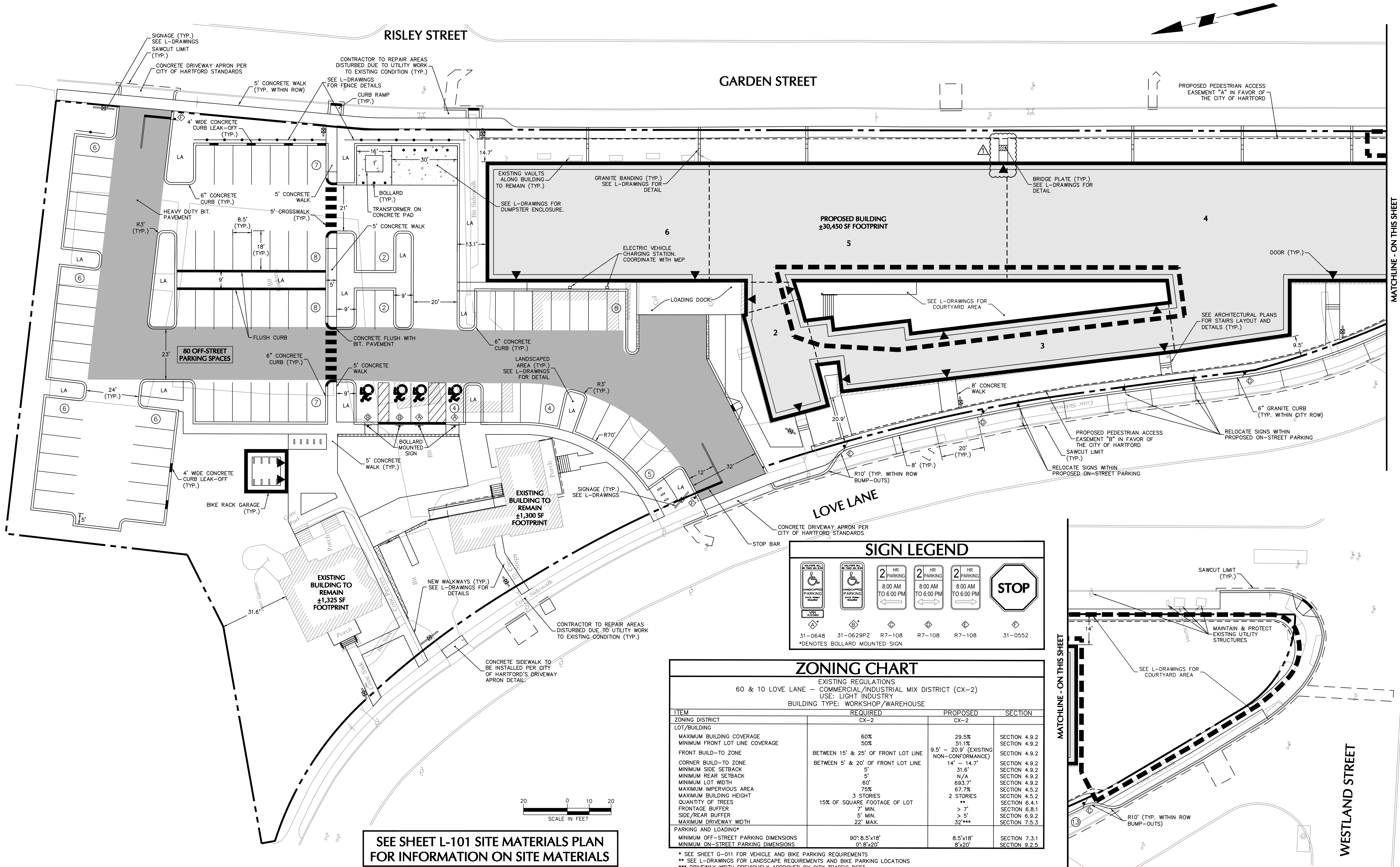


7 SECTION AT BLDG 3
SCALE: 1/8" = 1'-0"



6 SECTION AT BLDG 3
SCALE: 1/8" = 1'-0"





SEE SHEET L-101 SITE MATERIALS PLAN
FOR INFORMATION ON SITE MATERIALS

SIGN LEGEND					
31-0648	31-0629P2	R7-108	R7-108	R7-108	31-0552
*DENOTES BOLLARD MOUNTED SIGN					

ZONING CHART			
EXISTING REGULATIONS			
60 & 10 LOVE LANE - COMMERCIAL/INDUSTRIAL MIX DISTRICT (CX-2)			
USE: LIGHT INDUSTRY			
BUILDING TYPE: WORKSHOP/WAREHOUSE			
ITEM	REQUIRED	PROPOSED	SECTION
ZONING DISTRICT	CX-2	CX-2	
LOT/BUILDING			
MAXIMUM BUILDING COVERAGE	60%	29.5%	SECTION 4.9.2
MINIMUM FRONT LOT LINE COVERAGE	50%	51.1%	SECTION 4.9.2
FRONT BUILD-TO ZONE	BETWEEN 15' & 25' OF FRONT LOT LINE	9.5' - 20.9' (EXISTING NON-COMFORMANCE)	SECTION 4.9.2
CORNER BUILD-TO ZONE	BETWEEN 5' & 20' OF FRONT LOT LINE	14' - 14.7'	SECTION 4.9.2
MINIMUM SIDE SETBACK	5'	31.6'	SECTION 4.9.2
MINIMUM REAR SETBACK	5'	N/A	SECTION 4.9.2
MINIMUM LOT WIDTH	60'	693.7'	SECTION 4.9.2
MAXIMUM IMPERVIOUS AREA	75%	67.7%	SECTION 4.5.2
MAXIMUM BUILDING HEIGHT	3 STORIES	2 STORIES	SECTION 4.5.2
QUANTITY OF TREES	15% OF SQUARE FOOTAGE OF LOT	**	SECTION 6.4.1
FRONTAGE BUFFER	7' MIN.	> 7'	SECTION 6.8.1
SIDE/REAR BUFFER	5' MIN.	> 5'	SECTION 6.9.2
MAXIMUM DRIVEWAY WIDTH	22' MAX.	32'***	SECTION 7.5.3
PARKING AND LOADING*			
MINIMUM OFF-STREET PARKING DIMENSIONS	90'x8.5'x18'	8.5'x18'	SECTION 7.3.1
MINIMUM ON-STREET PARKING DIMENSIONS	0'x8'x20'	8'x20'	SECTION 9.2.5

* SEE SHEET G-011 FOR VEHICLE AND BIKE PARKING REQUIREMENTS
** SEE L-DRAWINGS FOR LANDSCAPE REQUIREMENTS AND BIKE PARKING LOCATIONS
*** DRIVEWAY WIDTH PREVIOUSLY APPROVED BY CITY TRAFFIC DEPT.

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1	08/10/18	CONFORMANCE SET

CONSTRUCTION
DOCUMENTS

Date AUGUST 10, 2018
Scale 1"=20'
Project Number 16.044

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Langan CT, Inc.
Langan International LLC
Collectively known as Langan

SIGNATURE
CHRISTOPHER P. CARDANY
CT PROFESSIONAL ENGINEER #21995

SWIFT FACTORY RENOVATION

SITE PLAN

CS101

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ELECTRICAL WORK NOTES

1

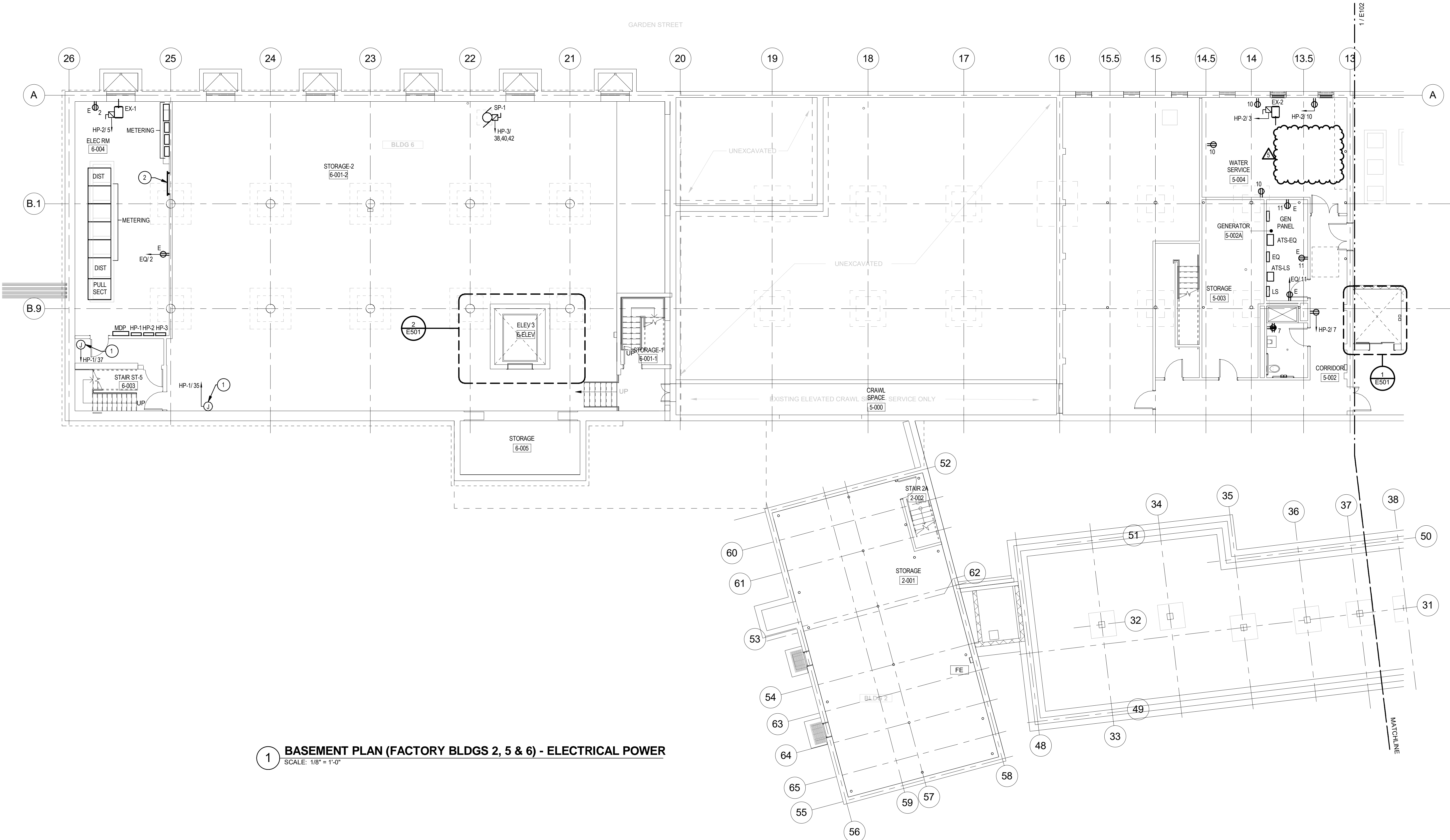
CONNECTION FOR HEAT TRACE FOR GREASE TRAPS. COORDINATE WITH CIVIL DRAWINGS FOR EXACT LOCATION. REFER TO PLUMBING DRAWINGS FOR REQUIREMENTS.

2

TELCO DEMARC. REFER TO RISER DIAGRAM.

GENERAL NOTE:

1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.



1 BASEMENT PLAN (FACTORY BLDGS 2, 5 & 6) - ELECTRICAL POWER
SCALE: 1/8" = 1'-0"

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1	11/10/17	BID ADDENDUM #3
2	08/10/18	CONFORMANCE SET
3	11/13/18	SHOP DRAWING REVIEW
4	01/16/19	SHOP DRAWING REVIEW
5	05/02/19	CB #011

CONSTRUCTION DOCUMENTS

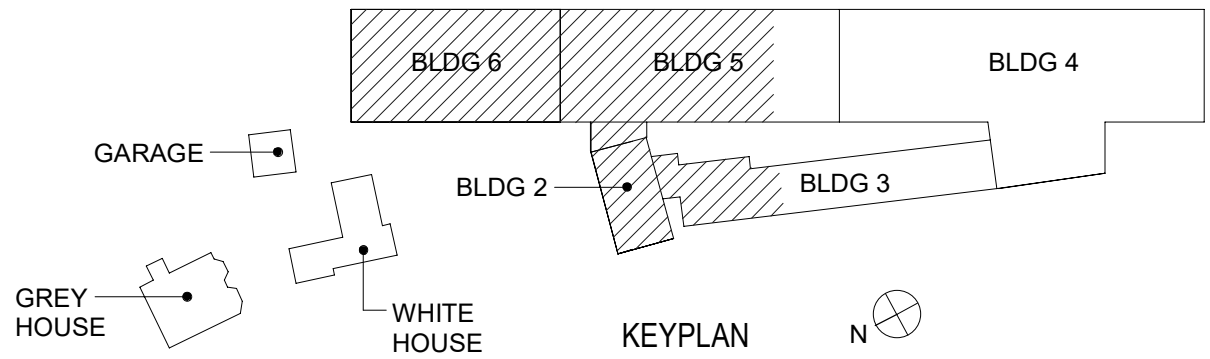
Date FEBRUARY 17, 2017
Scale 1/8" = 1'-0"
Project Number 16.044/CENTEK #16176

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Branford, CT 06405

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SWIFT FACTORY RENOVATIONS
HARTFORD, CT



BASEMENT PLAN (FACTORY
BLDGS 2, 5 & 6) - ELECTRICAL
POWER

E101

- 1 EMERGENCY BOILER SHUTOFF.
- 2 NOT USED.
- 3 PUMP CONTROL PANEL. COORDINATE EXACT MOUNTING LOCATION WITH PLUMBING DRAWINGS. COORDINATE WITH MANUFACTURER FOR SPECIFICATIONS.
- 4 CONNECTION POINT FOR FUTURE BOILER.

GENERAL NOTE:

1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.



E102

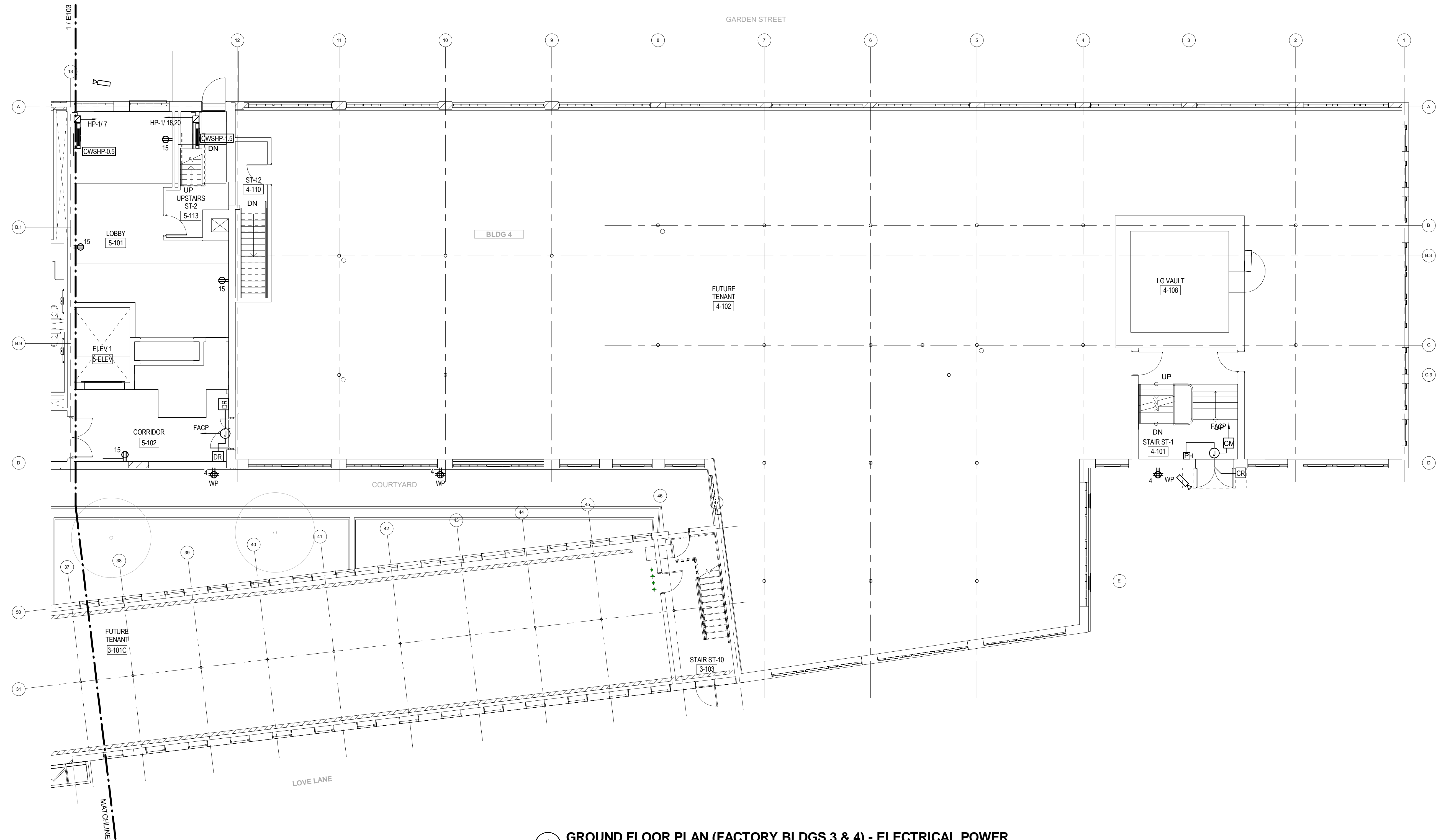
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IF THIS SHEET IS NOT: 24" x 36", IT HAS BEEN REDUCED OR ENLARGED. 8/15/2018 11:24:26 AM D:\Revit Backups\16176 Electrical (17)_TGC.rvt

ELECTRICAL WORK NOTES

GENERAL NOTE:

1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.



1 GROUND FLOOR PLAN (FACTORY BLDGS 3 & 4) - ELECTRICAL POWER
SCALE: 1/8" = 1'-0"

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2	08/10/18	CONFORMANCE SET

CONSTRUCTION DOCUMENTS

Date FEBRUARY 17, 2017
Scale 1/8" = 1'-0"
Project Number 16.044/CENTEK #16176

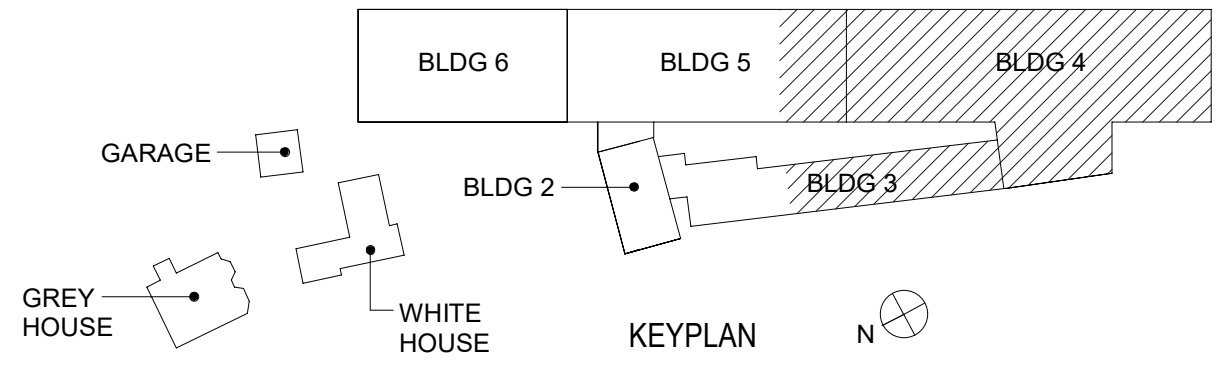
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GROUND FLOOR PLAN
(FACTORY BLDGS 3 & 4) -
ELECTRICAL POWER

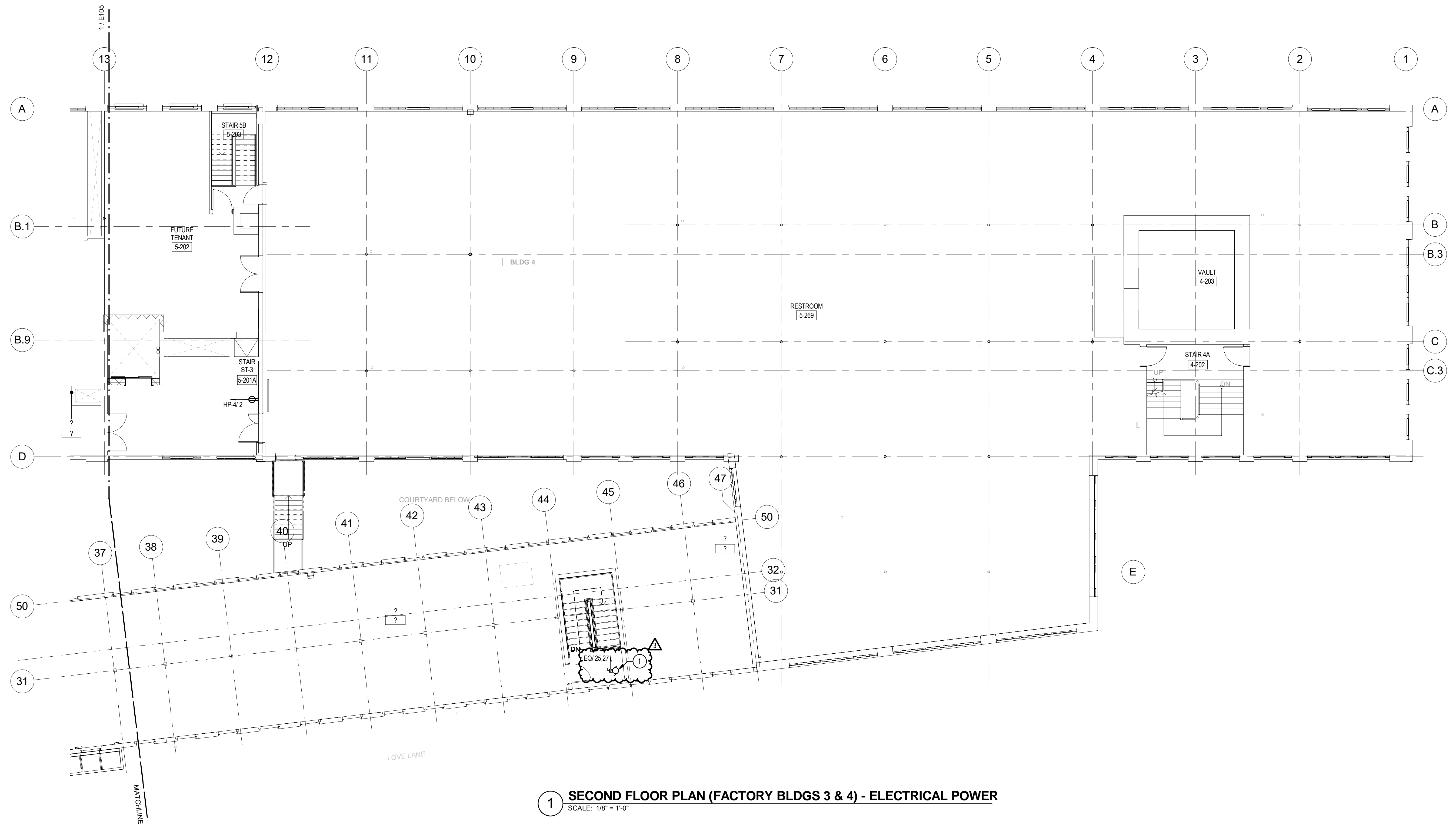
E104



1 COMPRESSOR FOR DRY PIPE SYSTEM. FIRE PROTECTION CONTRACTOR SHALL SIZE IN ACCORDANCE WITH DESIGN CRITERIA AND NFPA 13. DRY SYSTEM AIR COMPRESSOR MOUNTED IN ACCESSIBLE LOCATION. COORDINATE EXACT LOCATION IN FIELD WITH BUILDING OWNER AND ARCHITECT PRIOR TO INSTALLATION.

GENERAL NOTE:

1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.



1 SECOND FLOOR PLAN (FACTORY BLDGS 3 & 4) - ELECTRICAL POWER
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KEYPLAN

SECOND FLOOR PLAN
(FACTORY BLDGS 3 & 4) -
ELECTRICAL POWER

E106

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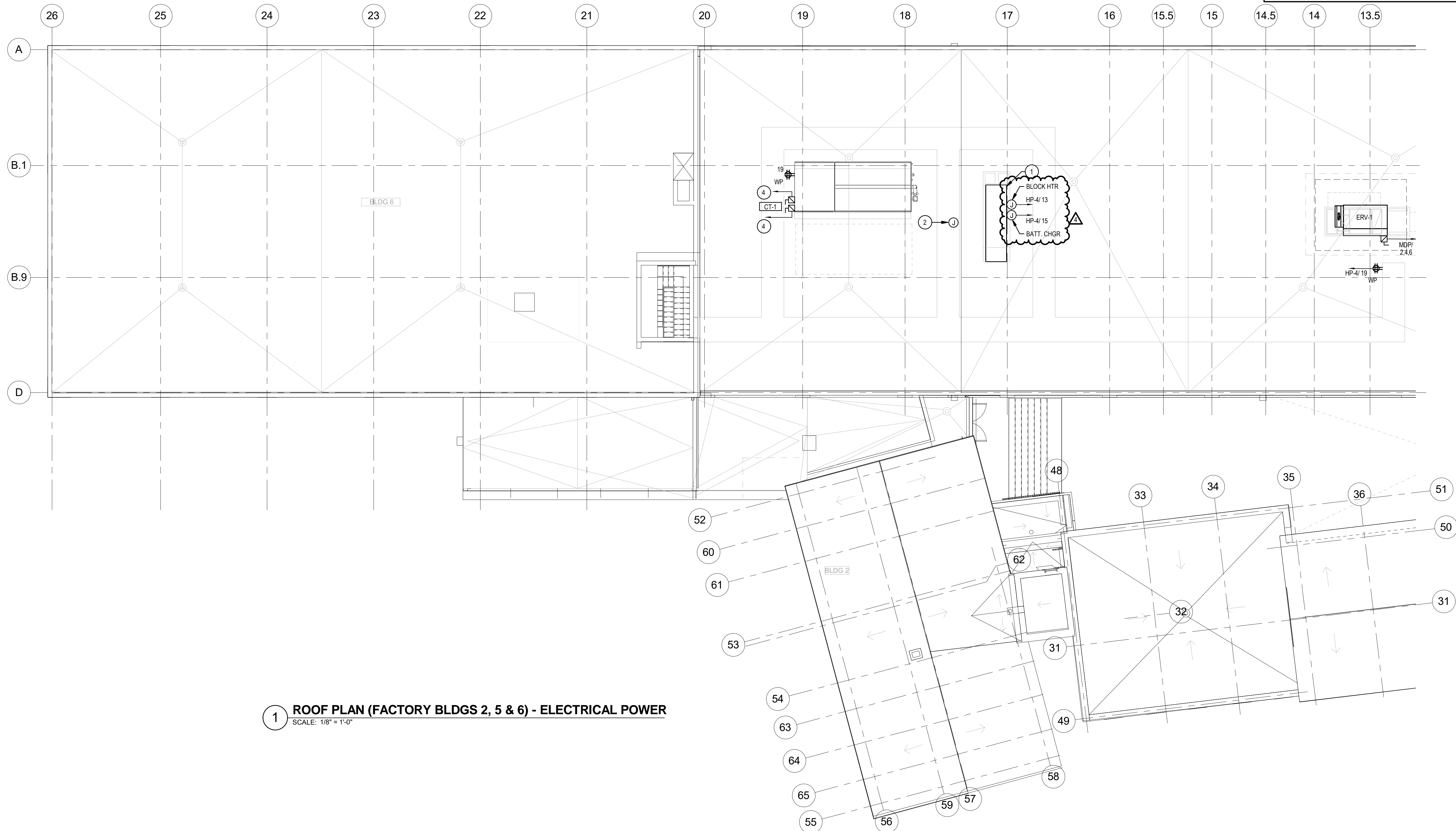
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PROJECT
NORTH

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ELECTRICAL WORK NOTES

1

150KW GENERATOR

2

CONNECTION FOR HEAT TRACE COLD WATER PIPING. POWER TO BE SUPPLIED FROM HEAT TRACE PANEL IN GROUND FLOOR ELECTRICAL CLOSET. COORDINATION WITH CIVIL DRAWINGS FOR EXACT LOCATION. REFER TO PLUMBING DRAWINGS FOR REQUIREMENTS.

3

NOT USED.

4

POWER FOR COOLING TOWER TO COME FROM CONTROL PANEL LOCATED INSIDE.GENERAL NOTE:
1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.

1 ROOF PLAN (FACTORY BLDGS 2, 5 & 6) - ELECTRICAL POWER
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1	11/10/17	BID ADDENDUM #3
2	08/10/18	CONFORMANCE SET
3	11/13/18	SHOP DRAWING REVIEW
4	07/01/19	RESPONSE TO RFI 163

CONSTRUCTION DOCUMENTS

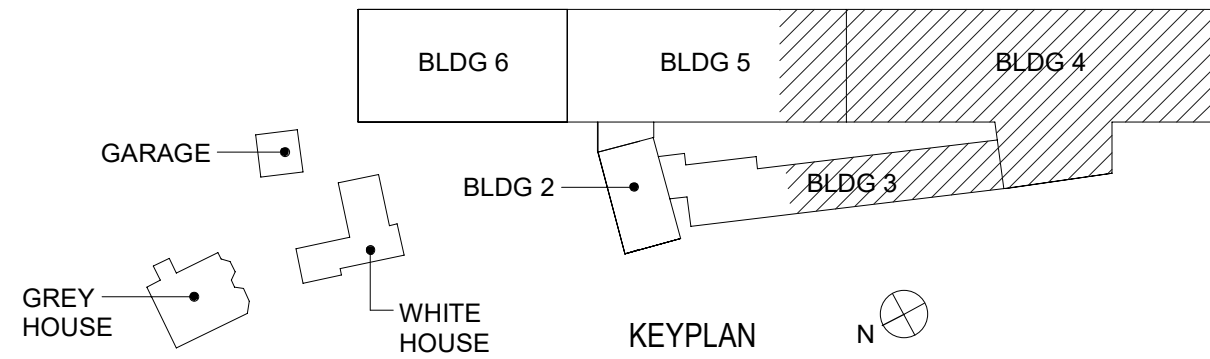
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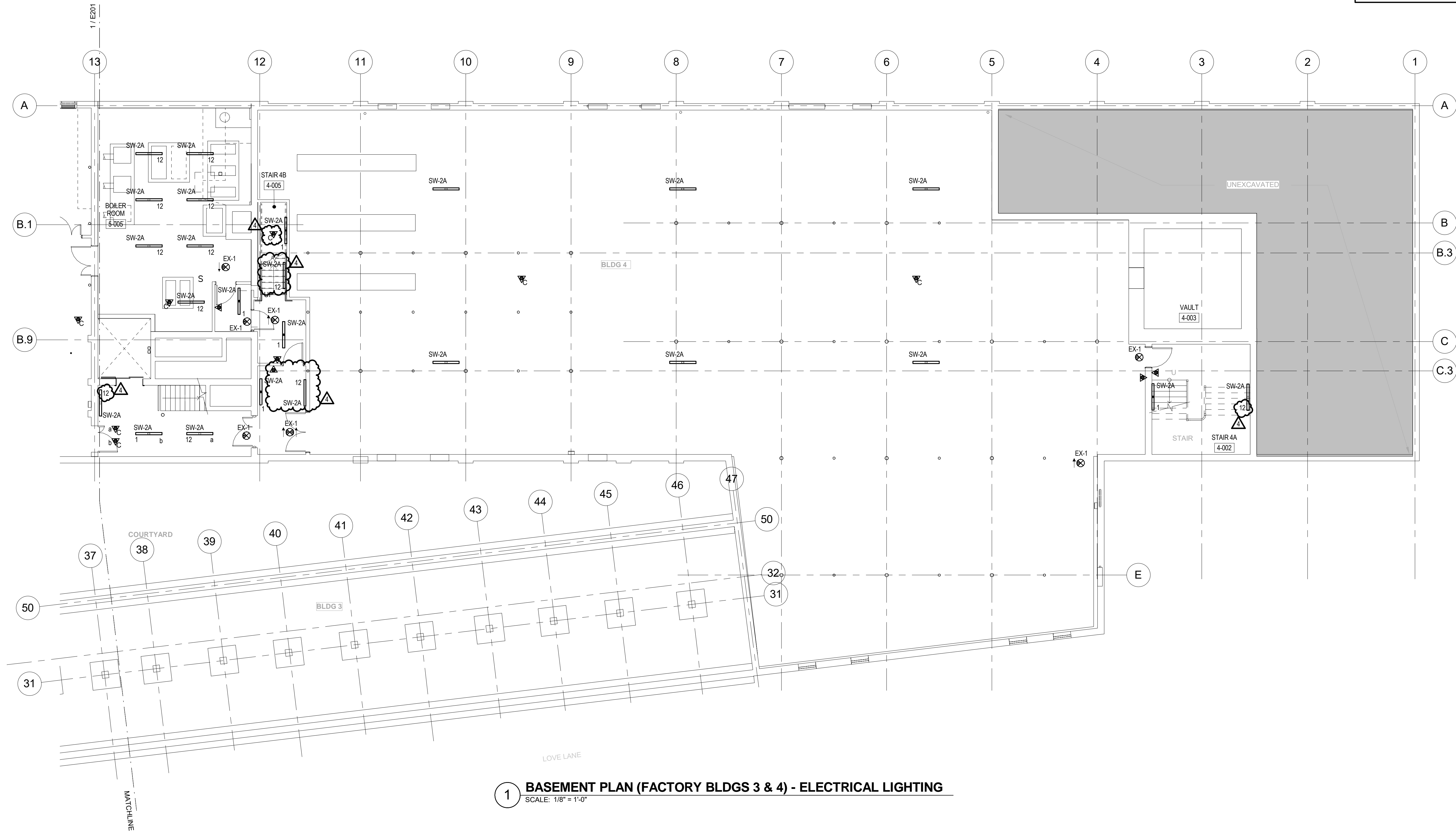
ROOF PLAN (FACTORY BLDGS 2, 5 & 6) - ELECTRICAL POWER

E107



ELECTRICAL WORK NOTES

GENERAL NOTE:
1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADES' DRAWINGS FOR ADDITIONAL INFORMATION.



1 BASEMENT PLAN (FACTORY BLDGS 3 & 4) - ELECTRICAL LIGHTING
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2	11/10/17	BID ADDENDUM #3
3	08/10/18	CONFORMANCE SET
4	10/23/19	BULLETIN #20

CONSTRUCTION DOCUMENTS

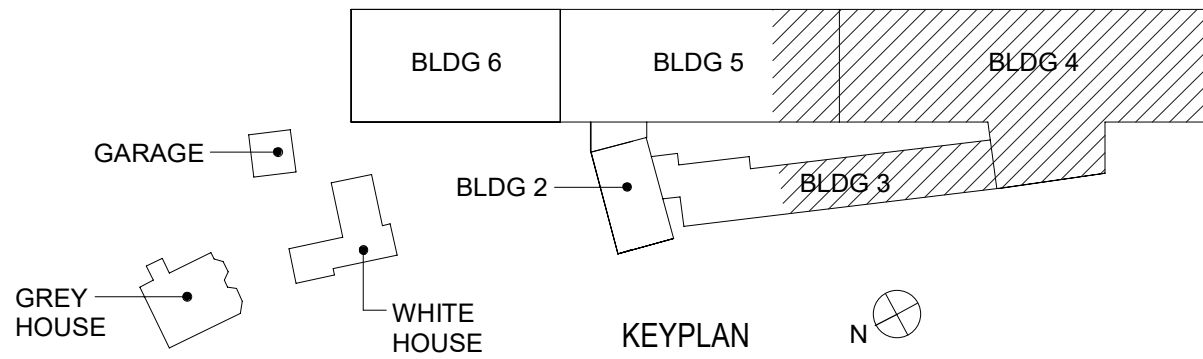
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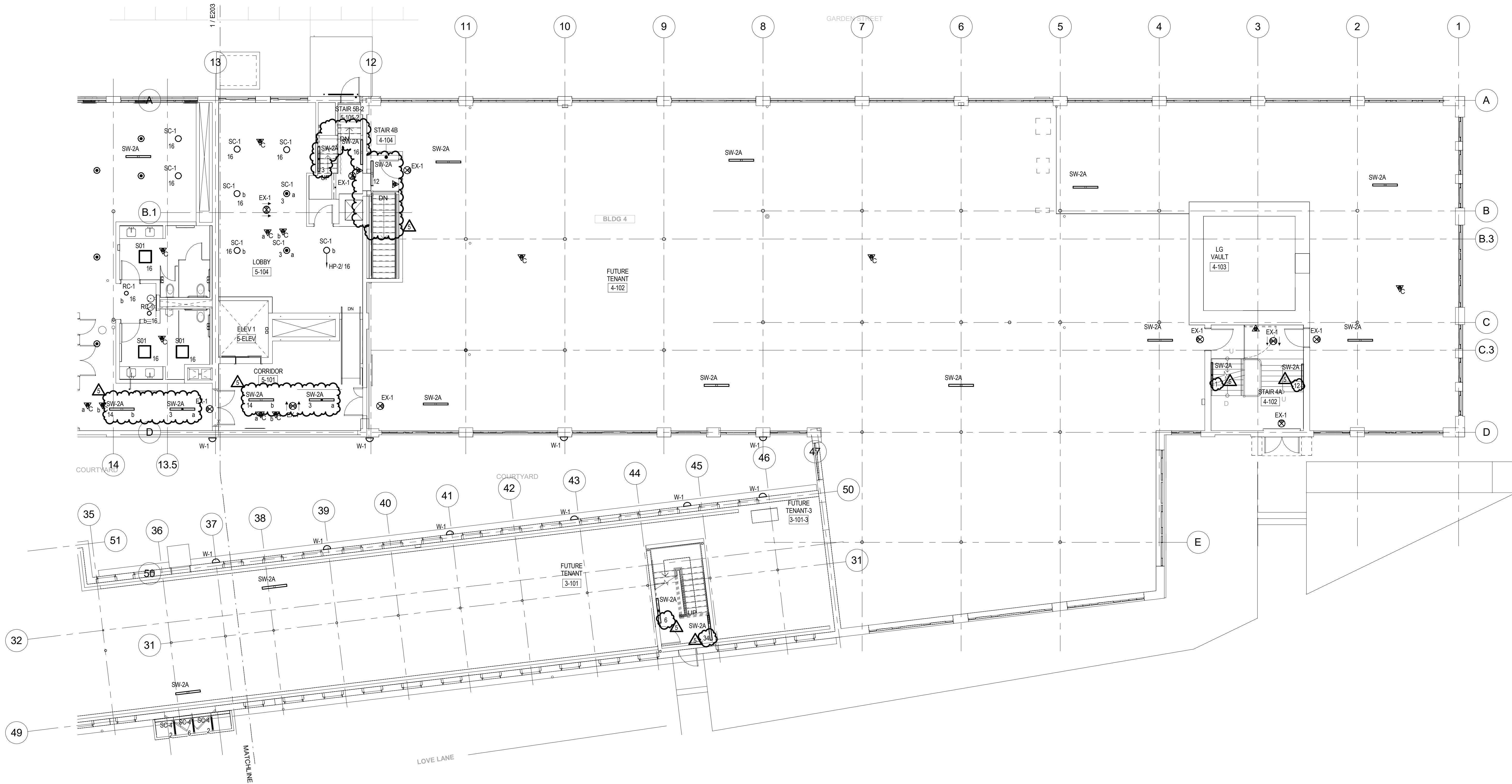


BASEMENT PLAN (FACTORY
BLDGS 3 & 4) - ELECTRICAL
LIGHTING

E202

ELECTRICAL WORK NOTES

- GENERAL NOTE:
- COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.
 - ALL EXTERIOR LIGHTING TO BE CONTROLLED VIA DDC SYSTEM.



1 GROUND FLOOR PLAN (FACTORY BLDGS 3 & 4) - ELECTRICAL LIGHTING
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3	08/10/18	CONFORMANCE SET
4	05/02/19	CB #05R-B
5	10/23/19	BULLETIN #20

CONSTRUCTION DOCUMENTS

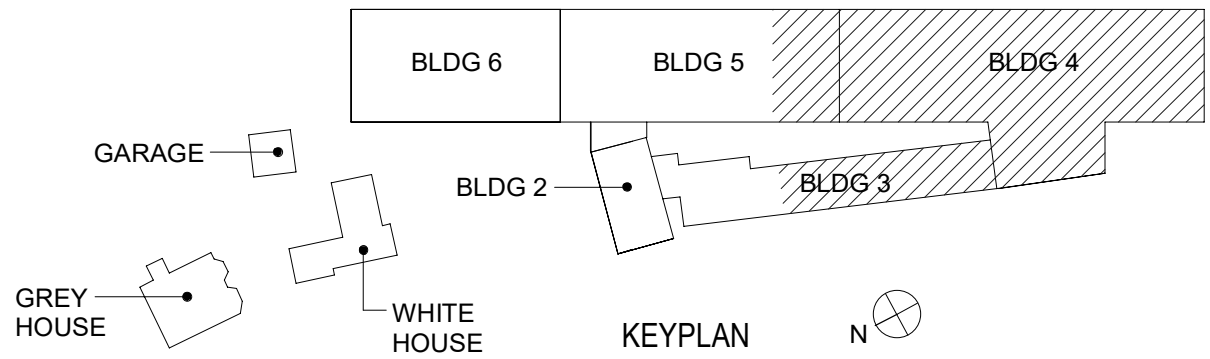
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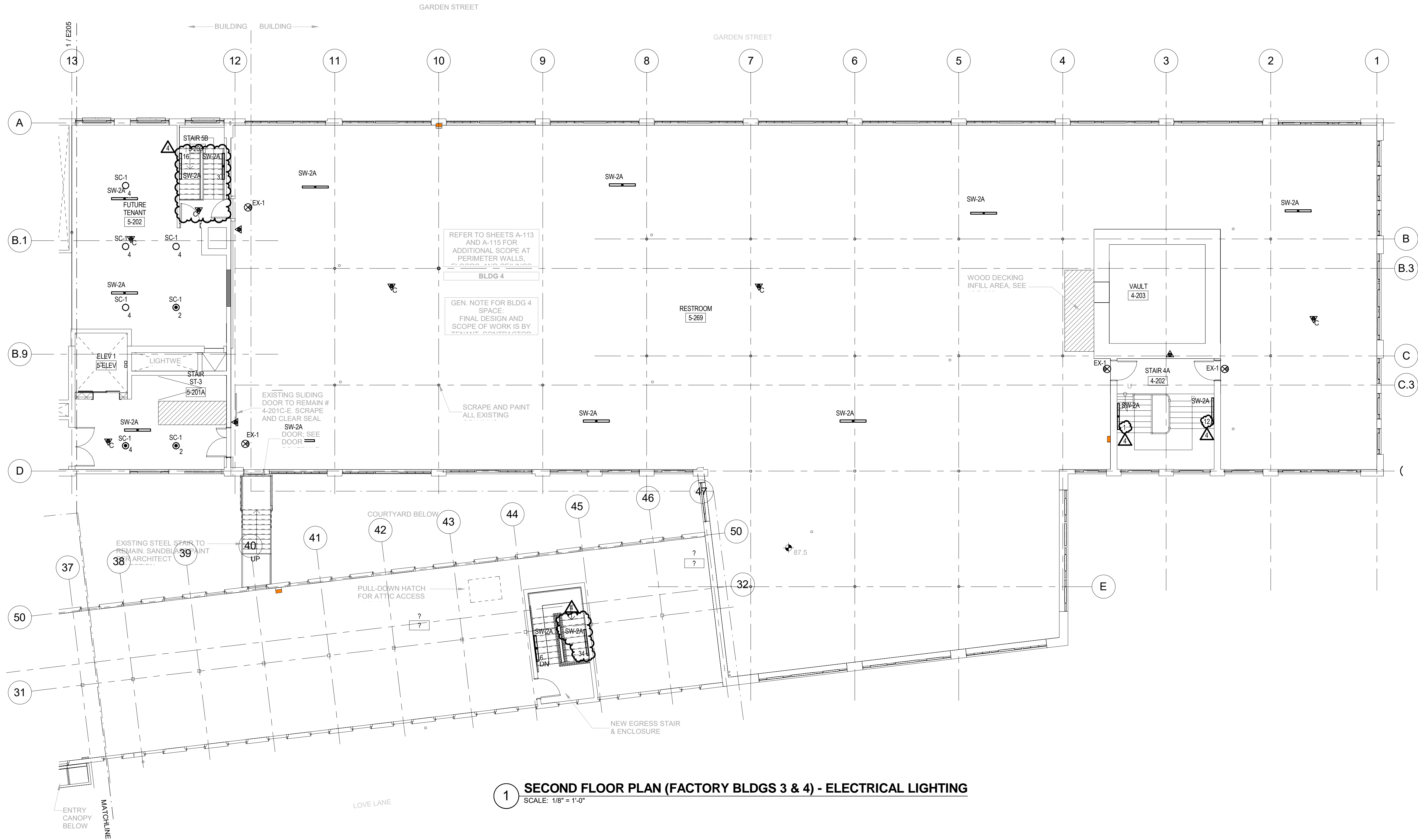


GROUND FLOOR PLAN
(FACTORY BLDGS 3 & 4) - ELEC.
LIGHTING

E204

ELECTRICAL WORK NOTES

GENERAL NOTE:
1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.



1 SECOND FLOOR PLAN (FACTORY BLDGS 3 & 4) - ELECTRICAL LIGHTING
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3	08/10/18	CONFORMANCE SET
4	10/23/19	BULLETIN #20

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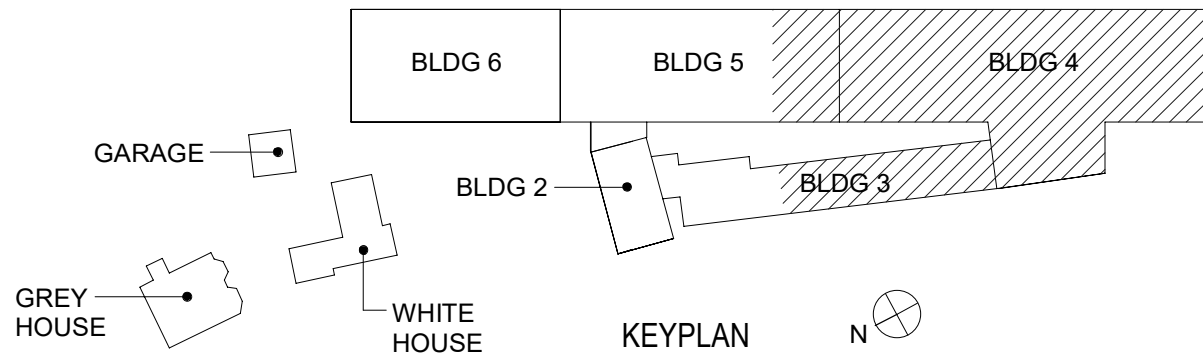
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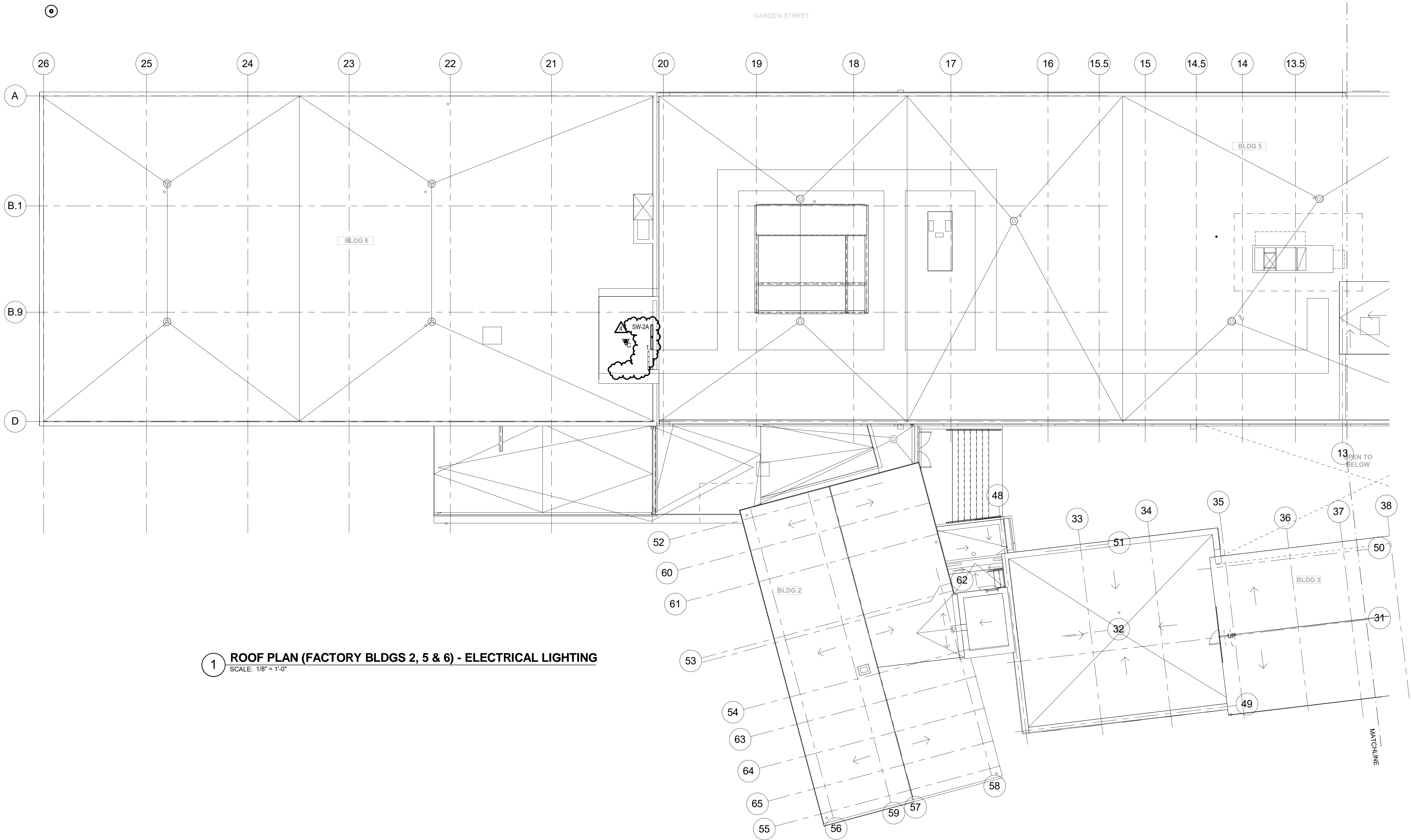


SECOND FLOOR PLAN
(FACTORY BLDGS 3 & 4) - ELEC.
LIGHTING

E206

ELECTRICAL WORK NOTES

GENERAL NOTE:
1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.



1 ROOF PLAN (FACTORY BLDGS 2, 5 & 6) - ELECTRICAL LIGHTING
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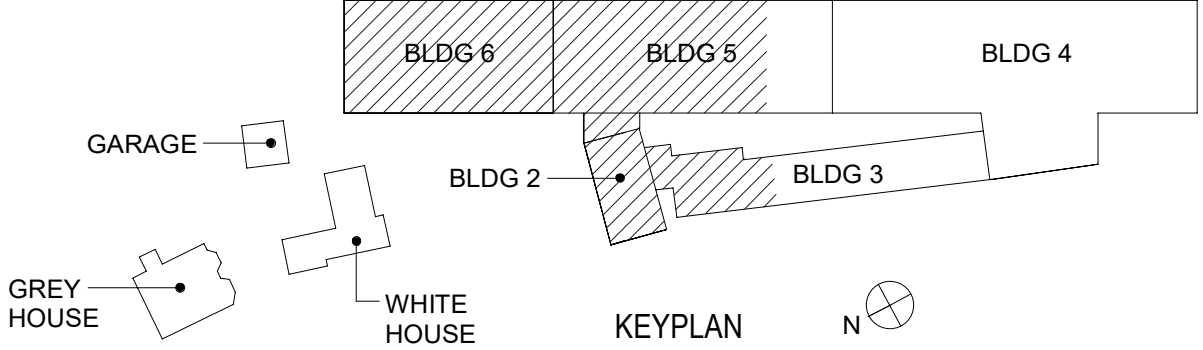
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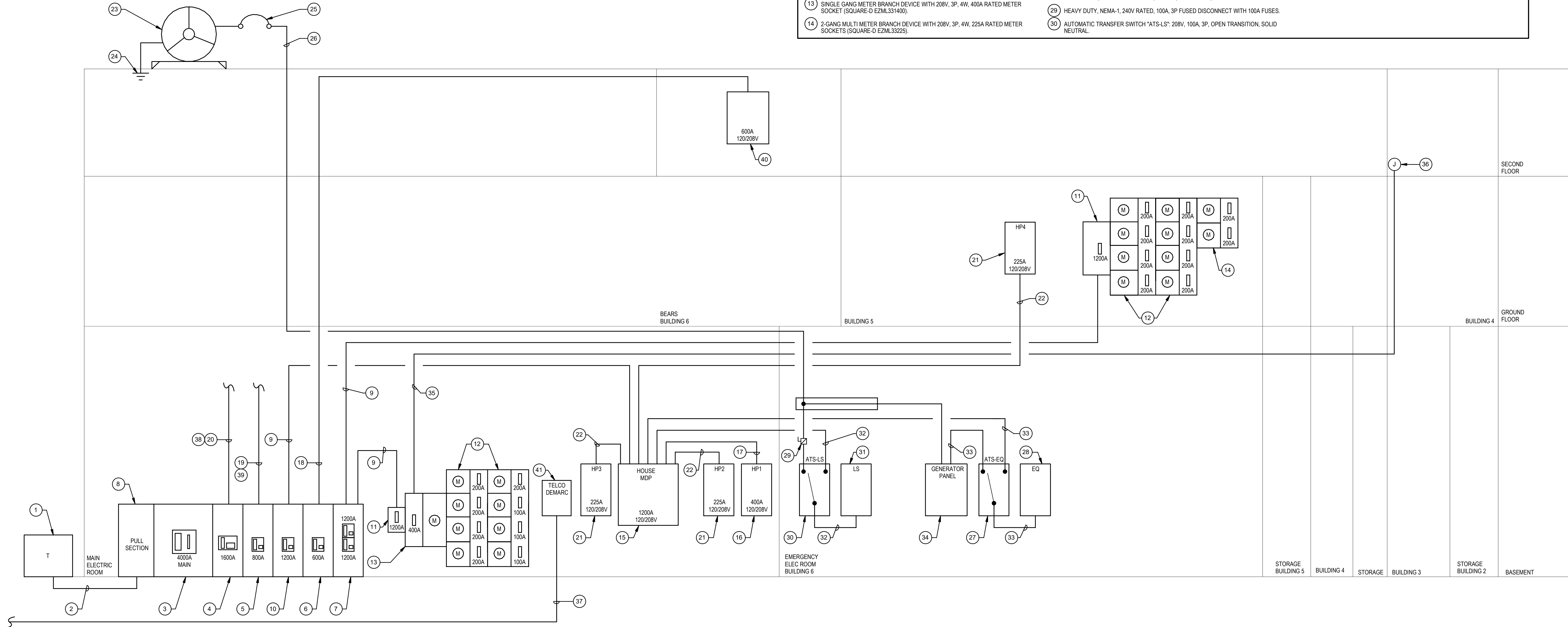
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ROOF PLAN (FACTORY BLDGS 2, 5 & 6) - ELECTRICAL LIGHTING

E207

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1 RISER DIAGRAM
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ELECTRICAL RISER DIAGRAM

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FIRE ALARM RISER DIAGRAM

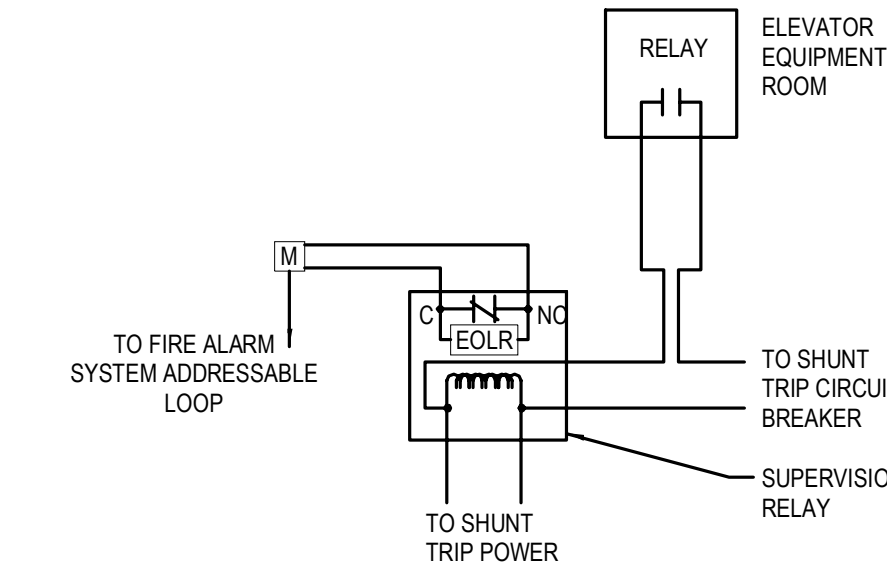
E602

FIRE ALARM RISER NOTES

- COORDINATE WITH FIRE ALARM VENDOR FOR APPROPRIATE INTENSITY SETTINGS ON ALL AUDIO/VISUAL FIRE ALARM DEVICES, FOR PROPER COVERAGE AT EACH LOCATION.
- NEW FIRE ALARM DEVICES SHALL BE CONNECTED TO NEW WIRE. NEW WIRE SHALL BE CLASS A, MINIMUM 16 AWG. AUDIO CABLES SHALL BE SHIELDED TYPE. PROVIDE CERTIFICATION TESTING OF ALL WIRES AND PROVIDE VERIFICATION OF TEST RESULTS TO OWNER.
- FIRE ALARM WIRING SHALL BE INSTALLED PER AHJ REQUIREMENTS AND ALL APPLICABLE STATE AND LOCAL CODES INCLUDING, BUT NOT LIMITED TO, NFPA CODES: 70, 70E, 72, AND 101.
- ALL NEW SMOKE/HEAT DETECTORS WITHIN THE PROJECT SHALL BE TESTED AND LABELED. PROVIDE VERIFICATION OF TEST RESULTS TO OWNER.
- PROVIDE FIRE ALARM AS-BUILT DRAWING SHOWING ALL DEVICE LOCATIONS, ADDRESSES, NODES, LOOPS, AND PIPING OR PATHWAYS.

GENERAL NOTE:

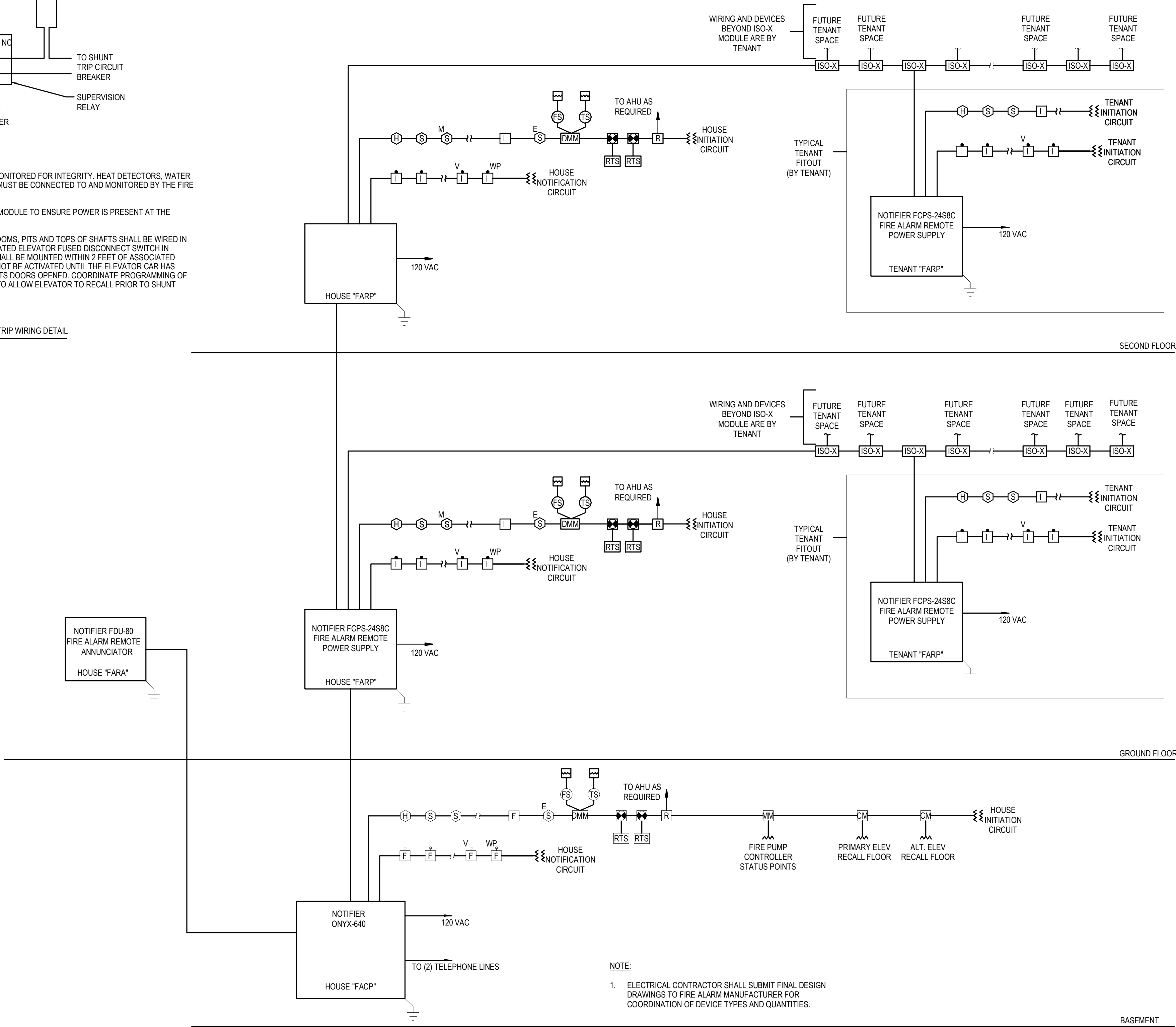
COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.



SHUNT TRIP SUPERVISION:

- ALL FIRE ALARM SYSTEM WIRING MUST BE MONITORED FOR INTEGRITY. HEAT DETECTORS, WATER FLOW SWITCHES, OR PRESSURE SWITCHES MUST BE CONNECTED TO AND MONITORED BY THE FIRE ALARM SYSTEM.
- SHUNT TRIP SYSTEMS REQUIRE A MONITOR MODULE TO ENSURE POWER IS PRESENT AT THE SHUNT TRIP BREAKER.
- HEAT DETECTORS IN ELEVATOR MACHINE ROOMS, PITS AND TOPS OF SHAFTS SHALL BE WIRED IN PARALLEL TO SHUNT TRIP UNITS ON ASSOCIATED ELEVATOR FUSED DISCONNECT SWITCH IN ELEVATOR MACHINE ROOMS. DETECTORS SHALL BE MOUNTED WITHIN 2 FEET OF ASSOCIATED SPRINKLER HEADS. THE SHUNT TRIP SHALL NOT BE ACTIVATED UNTIL THE ELEVATOR CAR HAS RECALLED TO THE DESIGNATED LEVEL AND ITS DOORS OPENED. COORDINATE PROGRAMMING OF TIME DELAY WITH ELEVATOR CONTRACTOR TO ALLOW ELEVATOR TO RECALL PRIOR TO SHUNT TRIP.

2 ELEVATOR SHUNT TRIP WIRING DETAIL
SCALE: N.T.S.

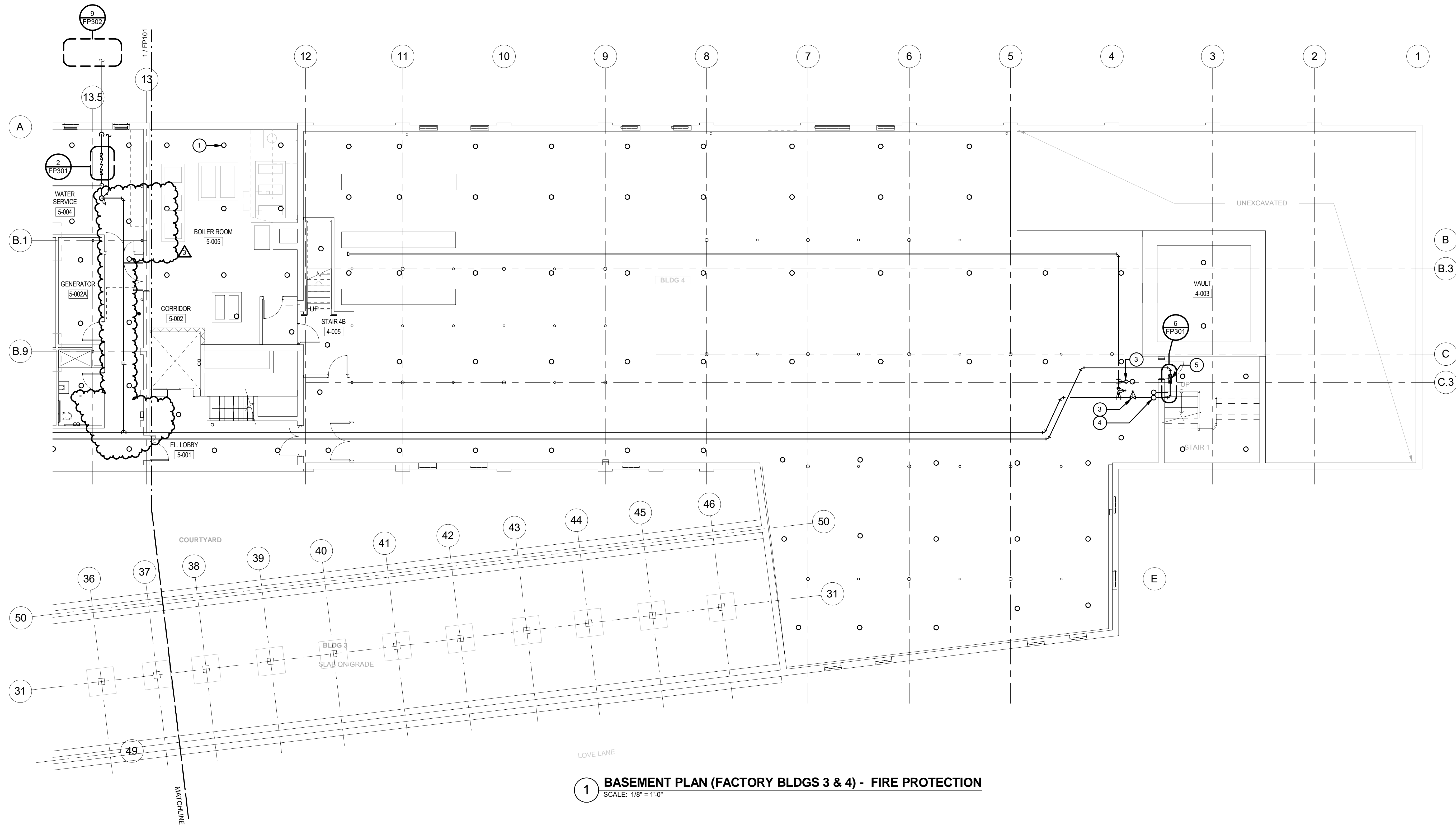


1 FIRE ALARM RISER DIAGRAM
SCALE: N.T.S.

NOTE:

- ELECTRICAL CONTRACTOR SHALL SUBMIT FINAL DESIGN DRAWINGS TO FIRE ALARM MANUFACTURER FOR COORDINATION OF DEVICE TYPES AND QUANTITIES.

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1 BASEMENT PLAN (FACTORY BLDGS 3 & 4) - FIRE PROTECTION
SCALE: 1/8" = 1'-0"

FIRE PROTECTION WORK NOTES

- | | |
|---|---|
| <ul style="list-style-type: none">1 NEW SPRINKLER. REFER TO FP001 FOR ADDITIONAL INFORMATION (TYP).2 CONTROL VALVE WITH TAMPER SWITCH AND FLOW SWITCH FOR FUTURE TENANT (TYP).3 RISER ISOLATION CONTROL VALVE WITH TAMPER SWITCH.4 4" SPRINKLER RISER AND 2" DRAIN RISER UP. REFER TO PLUMBING FOR DRAIN CONTINUATION.5 FLOOR CONTROL VALVE ASSEMBLY. | <p>ALL SPRINKLERS SHALL BE TYPE 'C' UNLESS OTHERWISE NOTED.</p> <p>ALL SPRINKLER PIPE SIZES SHALL BE BASED UPON HYDRAULIC CALCULATIONS PERFORMED BY THE FIRE PROTECTION CONTRACTOR.</p> <p>GENERAL NOTE:</p> <p>1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.</p> |
|---|---|

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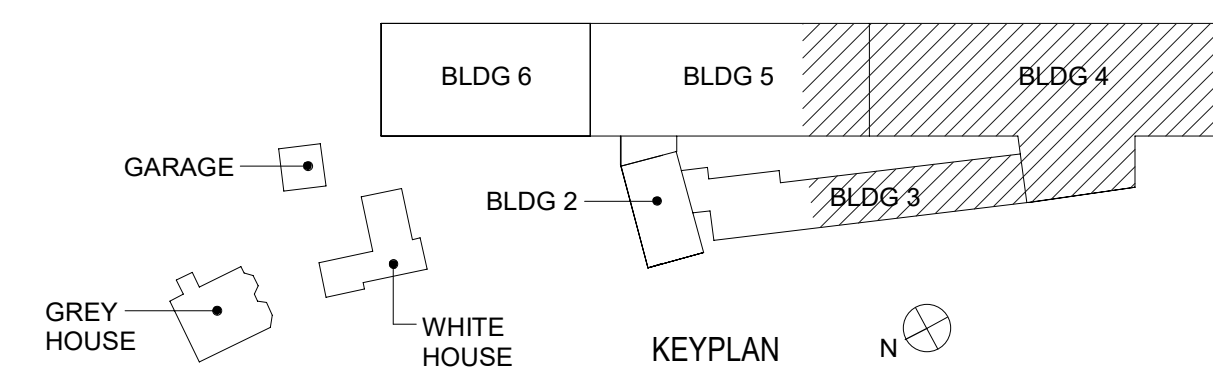
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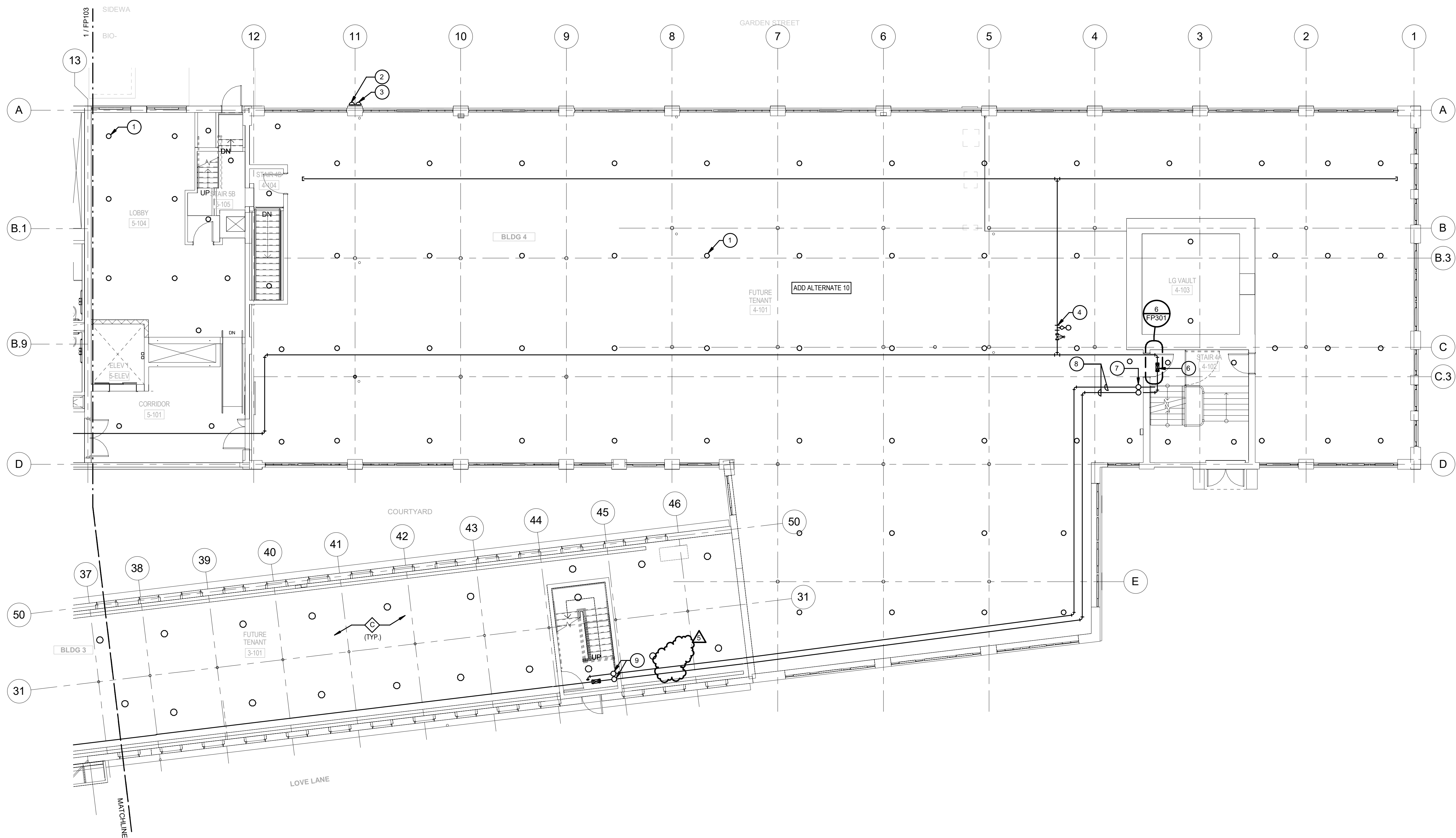
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BASEMENT PLAN (FACTORY
BLDGS 3 & 4) - FIRE
PROTECTION

FP102

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1 GROUND FLOOR PLAN (FACTORY BLDGS 3 & 4) - FIRE PROTECTION
SCALE: 1/8" = 1'-0"

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4	05/02/19	CB #011
5	05/02/19	CB #012

CONSTRUCTION DOCUMENTS

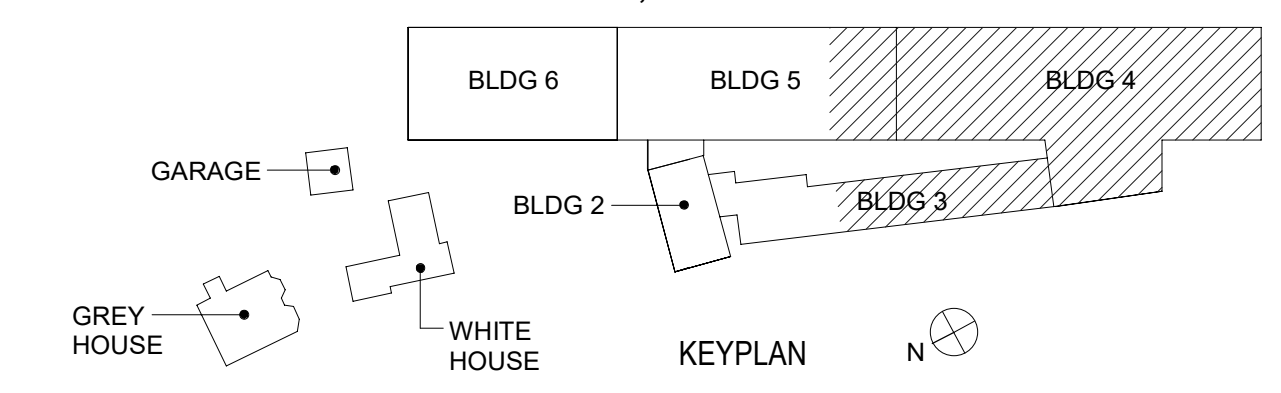
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GROUND FLOOR PLAN
(FACTORY BLDGS 3 & 4) - FIRE PROTECTION

FP104

FIRE PROTECTION WORK NOTES

- 1 NEW SPRINKLER. REFER TO FP001 FOR ADDITIONAL INFORMATION (TYP).

2 ELECTRIC ALARM BELL (WET SYTEM).

3 ELECTRIC ALARM BELL (EXPOSURE PROTECTION SYSTEM).

4 CONTROL VALVE WITH TAMPER AND FLOW SWITCH FOR FUTURE TENANT (TYP).

5 NOT USED.
- 6 FLOOR CONTROL VALVE ASSEMBLY (TYP).

7 4" SPRINKLER RISER AND 2" DRAIN RISER UP AND DOWN.

8 FIRE PROTECTION MAIN AND DRAIN LINE FOR BUILDING 3 SPRINKLER PROTECTION.

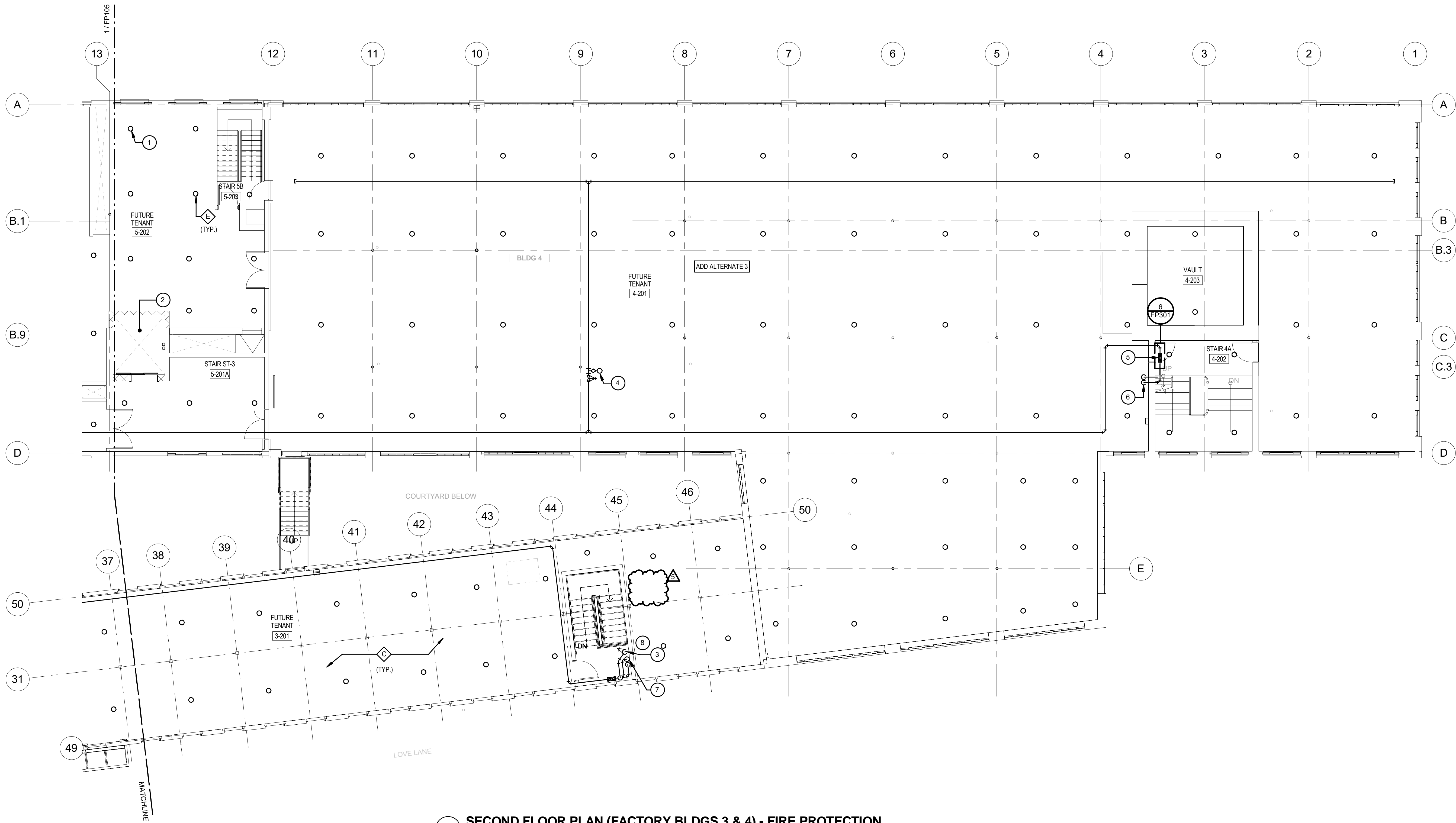
9 3" SPRINKLER RISER AND 1-1/2" DRAIN RISER UP.
- ALL SPRINKLERS SHALL BE TYPE 'C' UNLESS OTHERWISE NOTED.

ALL SPRINKLER PIPE SIZES SHALL BE BASED UPON HYDRAULIC CALCULATIONS PERFORMED BY THE FIRE PROTECTION CONTRACTOR.

GENERAL NOTE:

1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.

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1 SECOND FLOOR PLAN (FACTORY BLDGS 3 & 4) - FIRE PROTECTION
SCALE: 1/8" = 1'-0"

FIRE PROTECTION WORK NOTES

- 1 NEW SPRINKLER. REFER TO FP001 FOR ADDITIONAL INFORMATION (TYP).

2 ELEVATOR SPRINKLER PROTECTION NOT REQUIRED PER NFPA 13 - 2010 SEC. 8.15.5.

3 2-1/2" DRY ALARM CHECK VALVE AND 2-1/2" DRY SPRINKLER PIPING UP TO ATTIC. DRAIN TO NEAREST SPRINKLER DRAIN RISER. REFER TO DETAIL 3 ON FP301.

4 CONTROL VALVE WITH TAMPER SWITCH AND FLOW SWITCH FOR FUTURE TENANT.

5 FLOOR CONTROL VALVE ASSEMBLY (TYP).

6 4" SPRINKLER RISER AND 2" DRAIN RISER DOWN.

7 3" SPRINKLER RISER AND 1-1/2" DRAIN RISER DOWN.
- 8 COMPRESSOR FOR DRY PIPE SYSTEM. FIRE PROTECTION CONTRACTOR SHALL SIZE IN ACCORDANCE WITH DESIGN CRITERIA AND NFPA 13. DRY SYSTEM AIR COMPRESSOR MOUNTED IN ACCESSIBLE LOCATION. COORDINATE EXACT LOCATION IN FIELD WITH BUILDING OWNER AND ARCHITECT PRIOR TO INSTALLATION.

ALL SPRINKLERS SHALL BE TYPE 'C' UNLESS OTHERWISE NOTED.

ALL SPRINKLER PIPE SIZES SHALL BE BASED UPON HYDRAULIC CALCULATIONS PERFORMED BY THE FIRE PROTECTION CONTRACTOR.

GENERAL NOTE:

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4	05/02/19	CB #011
5	05/02/19	CB #012

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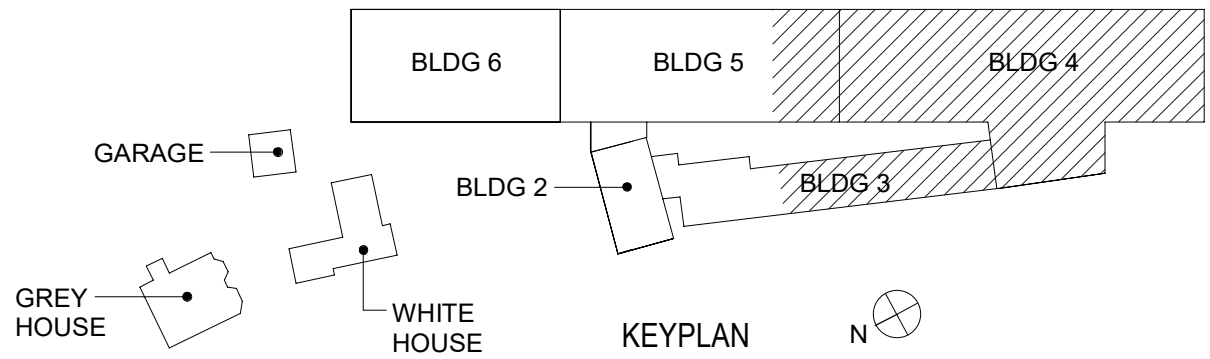
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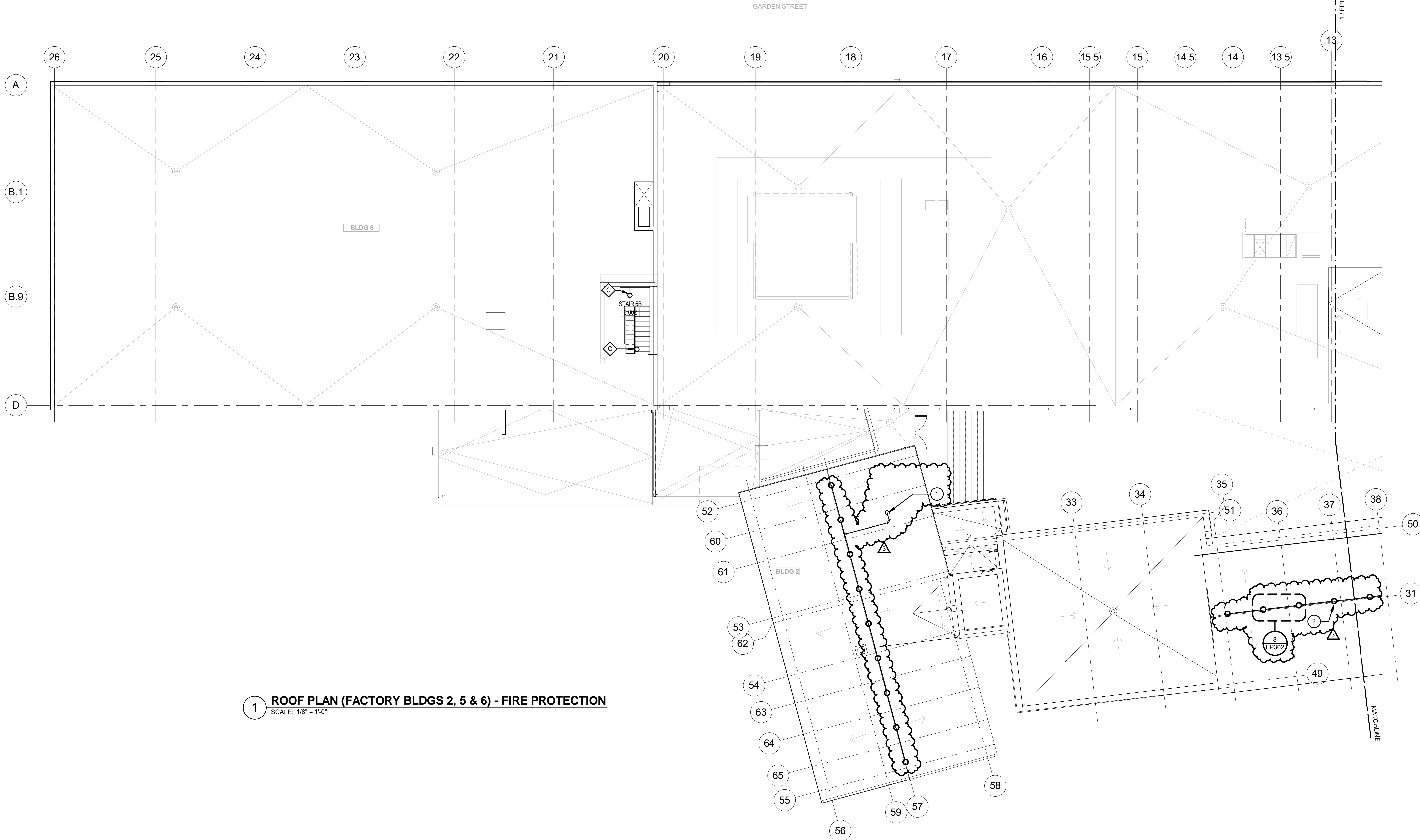


SECOND FLOOR PLAN
(FACTORY BLDGS 3 & 4) - FIRE
PROTECTION



FP106

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1

DRY SPRINKLER PIPING DOWN TO SECOND FLOOR.

2

NEW SPRINKLER. REFER TO FP001 FOR ADDITIONAL INFORMATION (TYP).

ALL SPRINKLERS SHALL BE TYPE 'F' UNLESS OTHERWISE NOTED.

ALL SPRINKLER PIPE SIZES SHALL BE BASED UPON HYDRAULIC CALCULATIONS PERFORMED BY THE FIRE PROTECTION CONTRACTOR.

GENERAL NOTE:
1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.

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2	08/10/18	CONFORMANCE SET
3	05/02/19	CB #011

CONSTRUCTION DOCUMENTS

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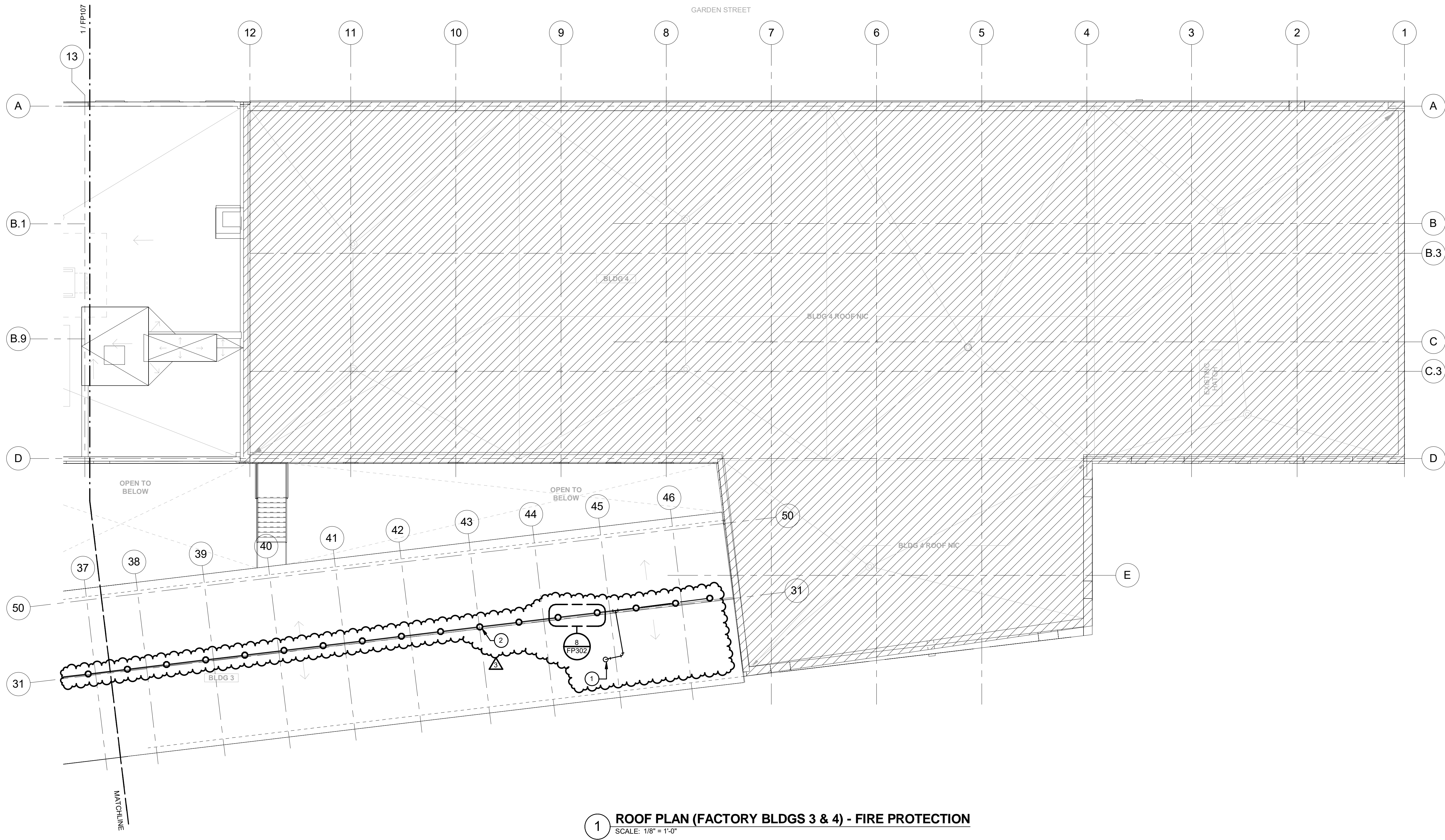
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ROOF PLAN (FACTORY BLDGS 2, 5 & 6) - FIRE PROTECTION

FP107

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FIRE PROTECTION WORK NOTES

1 DRY SPRINKLER PIPING DOWN TO SECOND FLOOR.

2 NEW SPRINKLER. REFER TO FP001 FOR ADDITIONAL INFORMATION (TYP).

ALL SPRINKLERS SHALL BE TYPE 'F' UNLESS OTHERWISE NOTED.

ALL SPRINKLER PIPE SIZES SHALL BE BASED UPON HYDRAULIC CALCULATIONS PERFORMED BY THE FIRE PROTECTION CONTRACTOR.

GENERAL NOTE:

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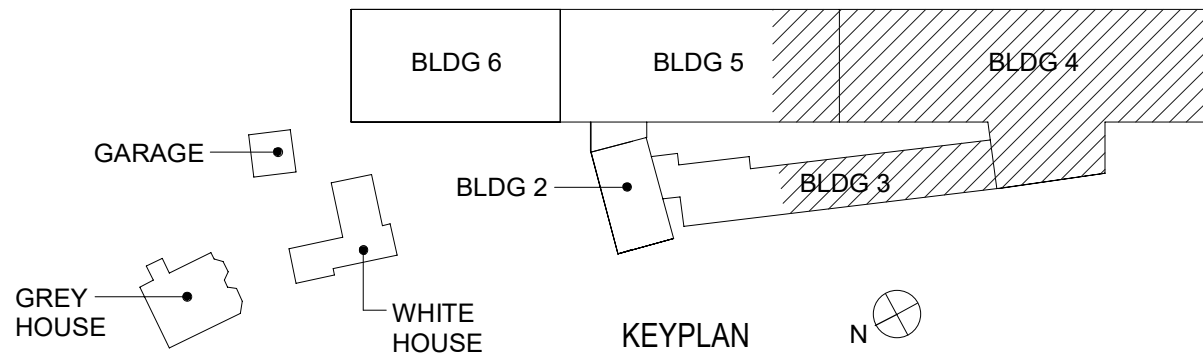
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ROOF PLAN (FACTORY BLDGS 3 & 4) - FIRE PROTECTION

FP108



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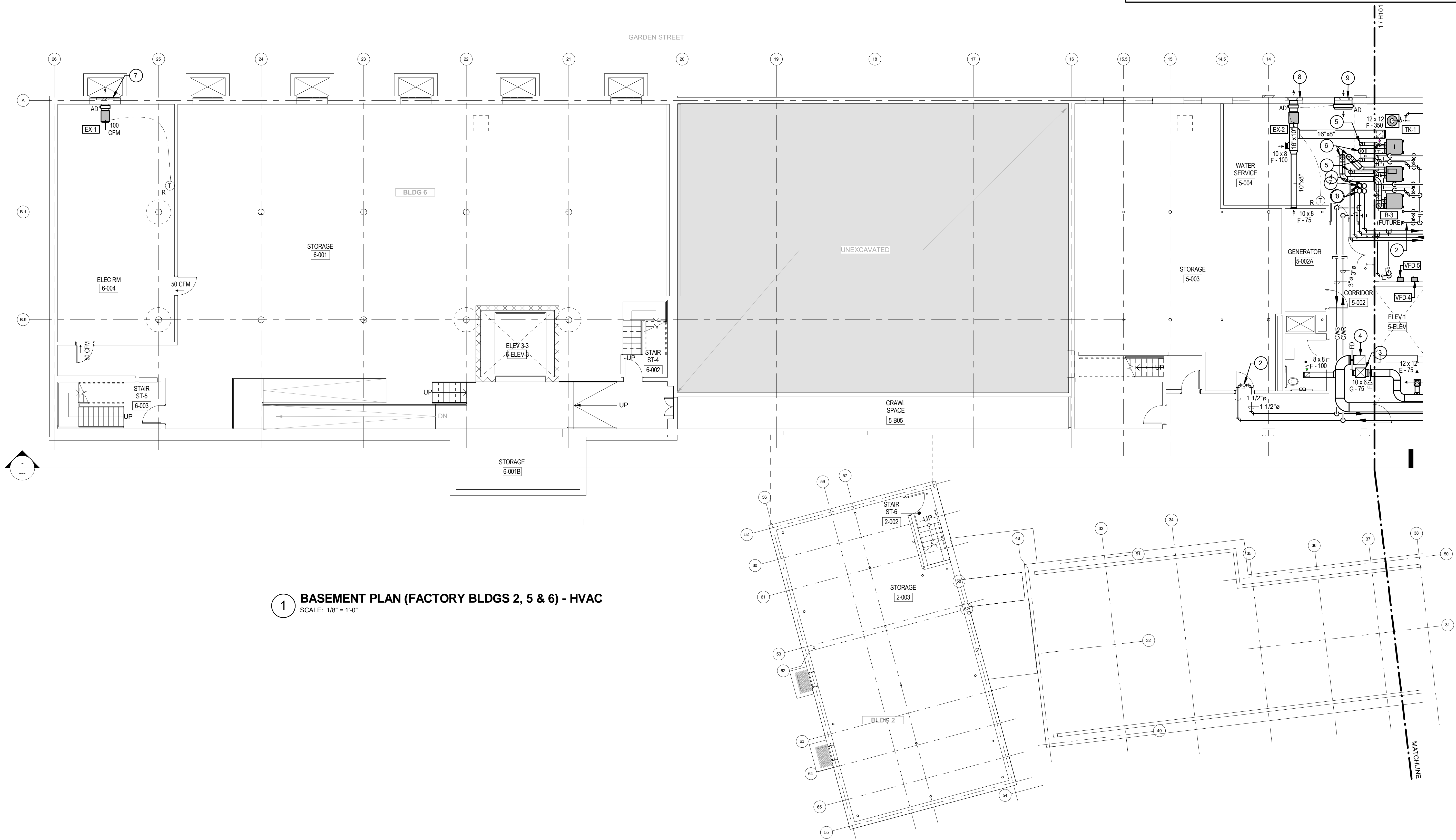
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FIRE PROTECTION RISER

FP201

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1 BASEMENT PLAN (FACTORY BLDGS 2, 5 & 6) - HVAC
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3	08/10/18	CONFORMANCE SET

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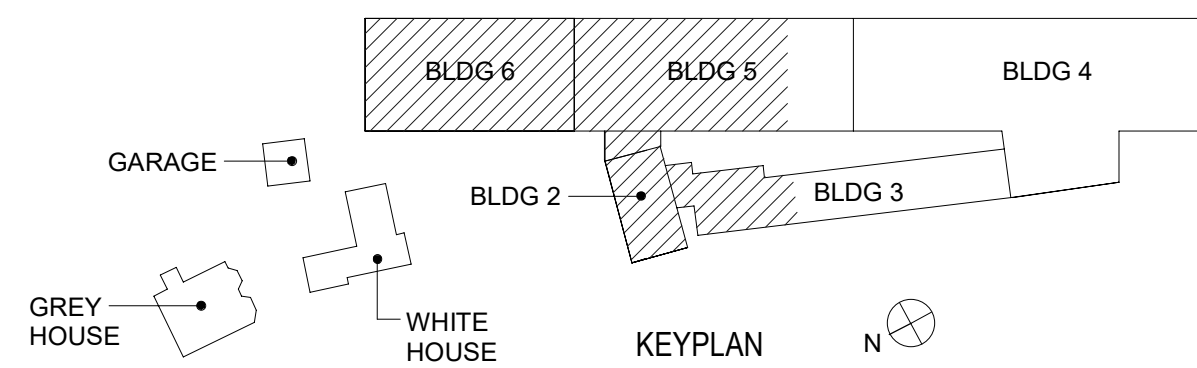
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SWIFT FACTORY RENOVATION HARTFORD, CT



BASEMENT PLAN (FACTORY
BLDGS 2, 5 & 6) - HVAC

H100

HVAC WORK NOTES

- 6" CWS AND CWR UP
- VALVE AND CAP FOR FUTURE CONNECTION (TYPICAL). PROVIDE 3/4" BYPASS WITH BALL VALVE.
- 18" x 18" OUTDOOR AIR DUCT UP
- 18" x 18" EXHAUST DUCT UP
- 8" Ø EXHAUST FLUE RISER UP TO ROOF
- 10" Ø OUTDOOR COMBUSTION AIR INTAKE UP TO ROOF
- 6" Ø CWS AND CWR UP TO COOLING TOWER ON ROOF
- 24"x12" EXHAUST LOUVER (1 SQ. FT. MIN FREE AREA).
- 24"x12" INTAKE LOUVER (1 SQ. FT. MIN FREE AREA).

GENERAL NOTE:
1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.

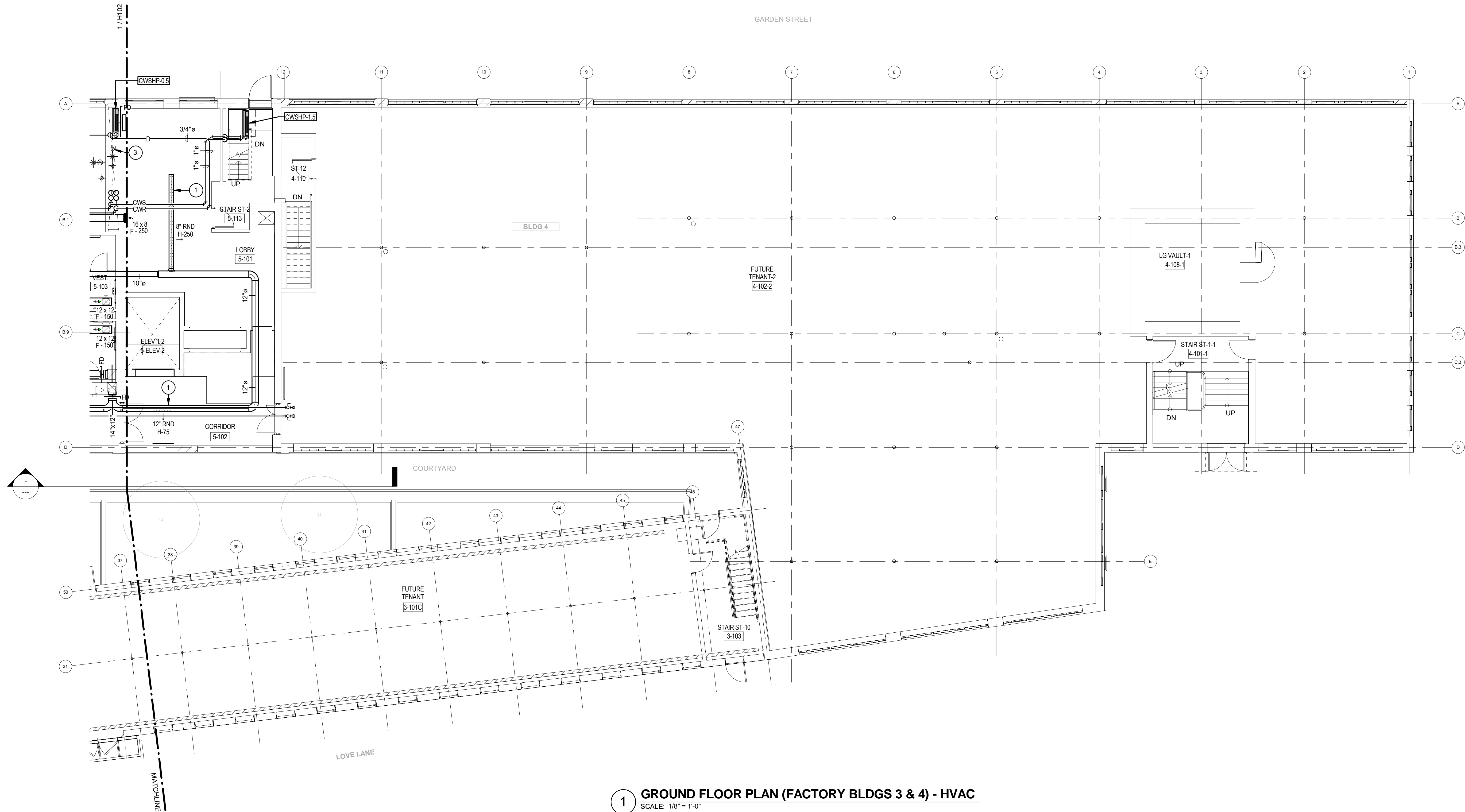
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HVAC WORK NOTES

- 1 PROVIDE UNITED MCGILL DUCT-D-FUSER WITH PERFORATED HOLES SIZED FOR CUSTOM PAINTING. DUCT SHALL BE SIZED AT 900 FPM MAX VELOCITY AND 40 CFM PER SQUARE FOOT AIR OUTLET VELOCITY. SUBMIT FOR APPROVAL PRIOR TO RELEASE.
- 2 VALVE AND CAP FOR FUTURE CONNECTION (TYPICAL). PROVIDE 3/4" BYPASS WITH BALL VALVE.
- 3 TERMINATE 1" DRAIN PIPE THRU EXTERIOR WALL WITH 45° ELBOW AND INSECT SCREEN.

GENERAL NOTE:

1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.



1 GROUND FLOOR PLAN (FACTORY BLDGS 3 & 4) - HVAC
SCALE: 1/8" = 1'-0"

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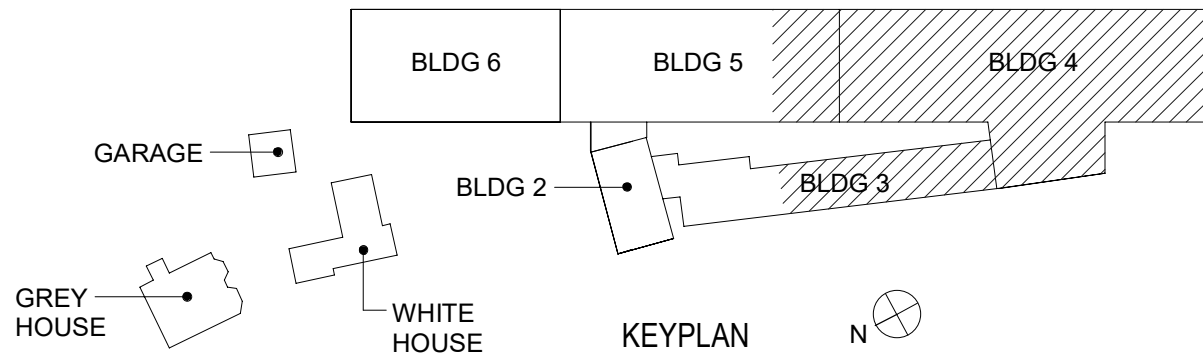
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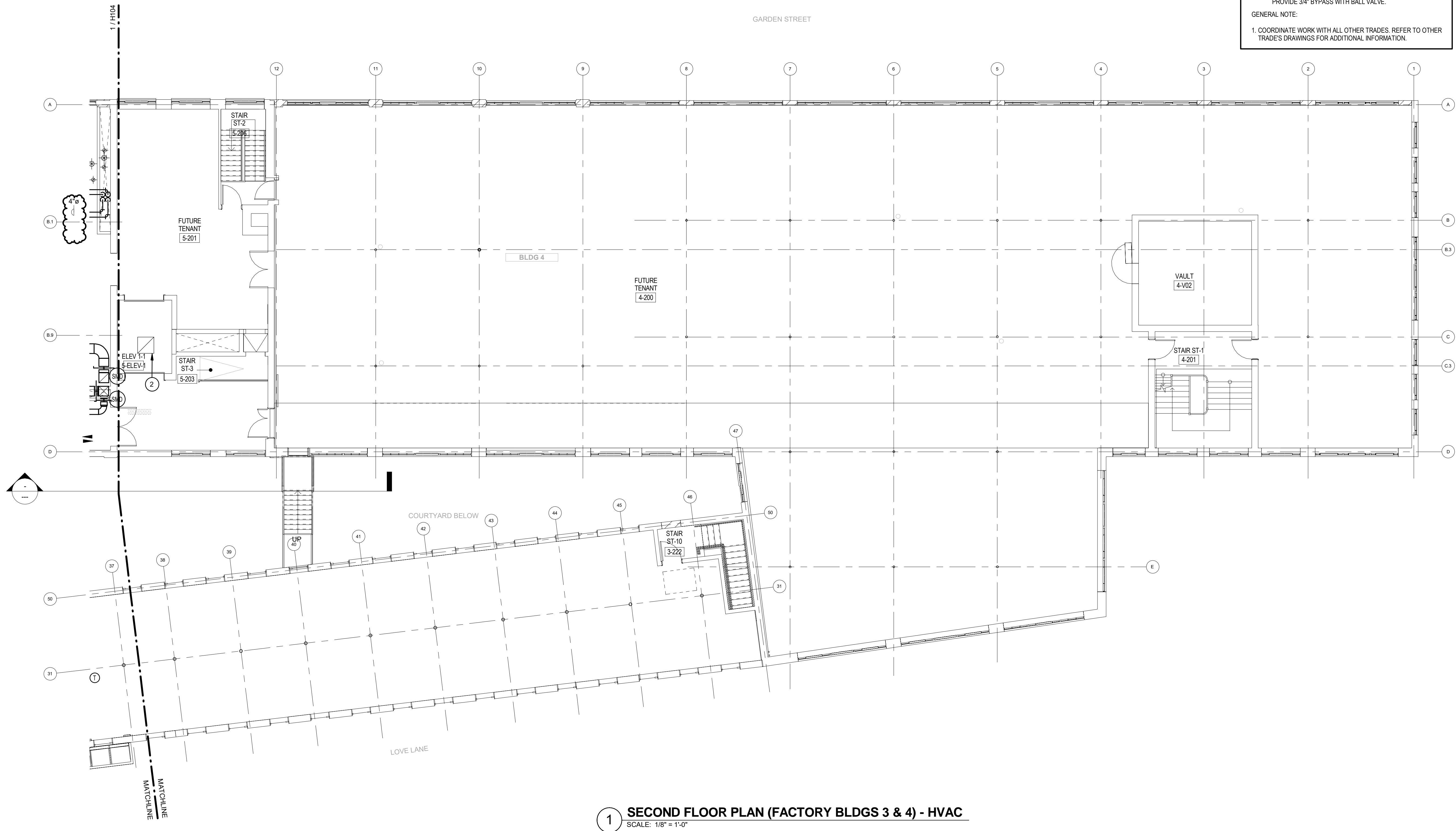


GROUND FLOOR PLAN
(FACTORY BLDGS 3 & 4) - HVAC

H103



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- HVAC WORK NOTES
- 1

PROVIDE UNITED MCGILL DUCT-D-FUSER WITH PERFORATED HOLES SIZED FOR CUSTOM PAINTING. DUCT SHALL BE SIZED AT 900 FPM MAX VELOCITY AND 40 CFM PER SQUARE FOOT AIR OUTLET VELOCITY. SUBMIT FOR APPROVAL PRIOR TO RELEASE.
- 2

PROVIDE 3 SQ. FT. MIN FREE AREA PENETRATION FOR PENTHOUSE ELEVATOR VENT ON ROOF.
- 3

VALVE AND CAP FOR FUTURE CONNECTION (TYPICAL). PROVIDE 3/4" BYPASS WITH BALL VALVE.
- GENERAL NOTE:
1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.

1 SECOND FLOOR PLAN (FACTORY BLDGS 3 & 4) - HVAC
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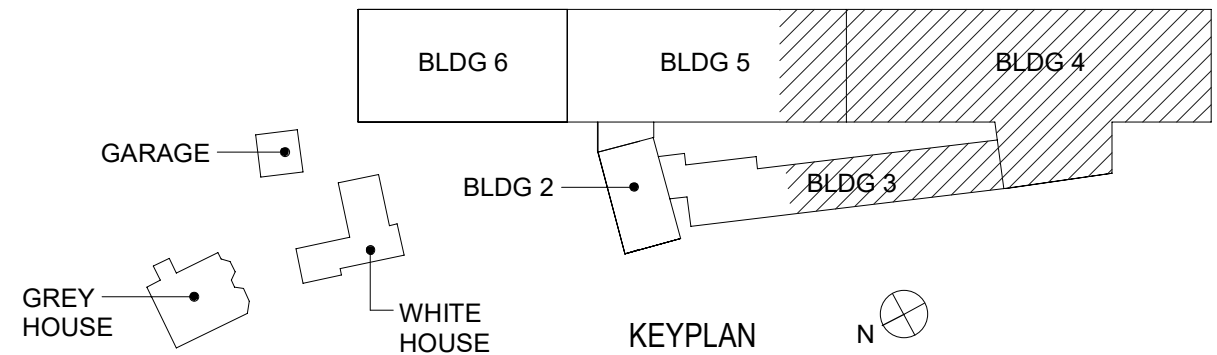
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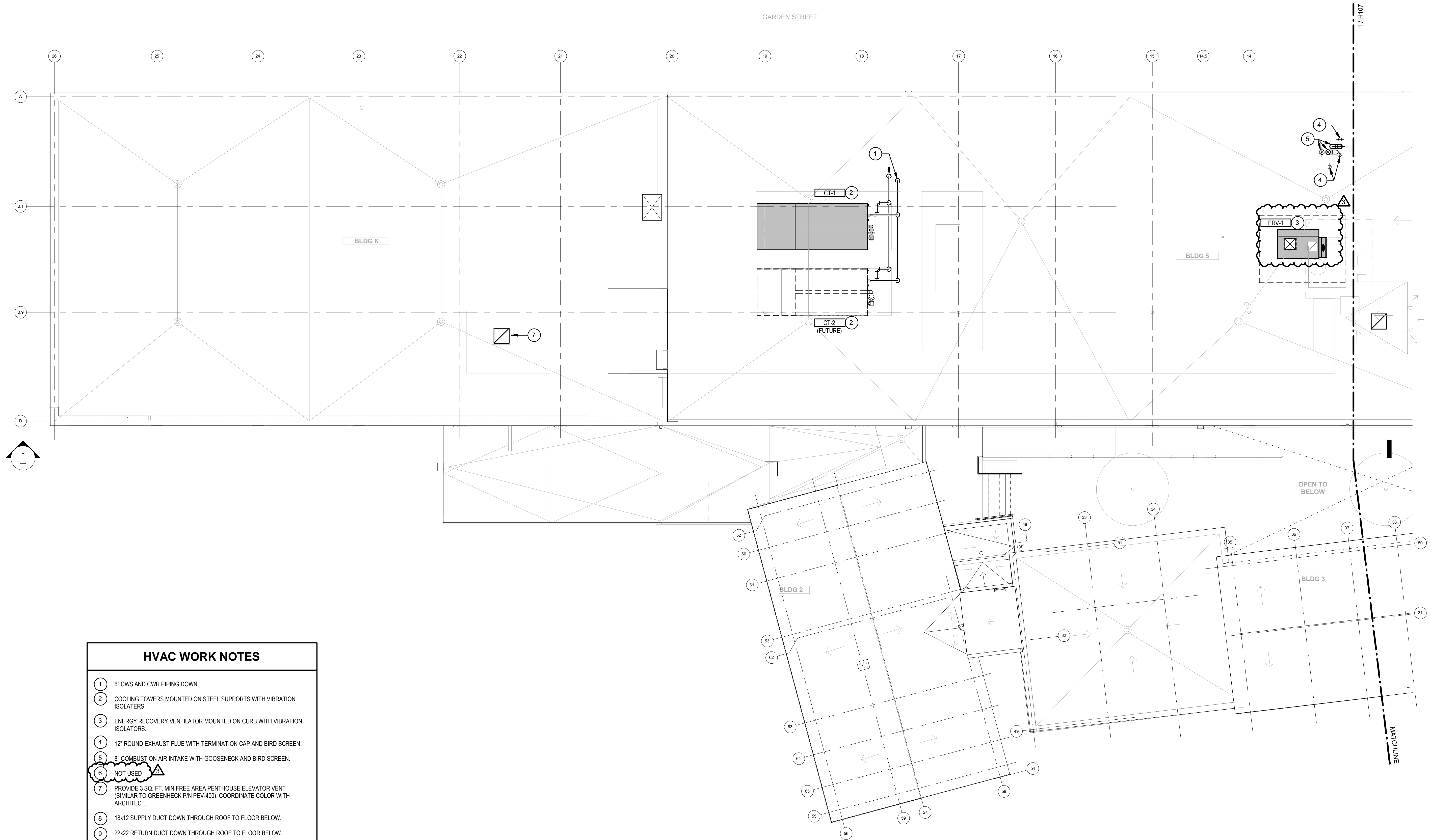


SECOND FLOOR PLAN
(FACTORY BLDGS 3 & 4) - HVAC

H105



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HVAC WORK NOTES

1

6" CWS AND CWR PIPING DOWN.

2

COOLING TOWERS MOUNTED ON STEEL SUPPORTS WITH VIBRATION ISOLATORS.

3

ENERGY RECOVERY VENTILATOR MOUNTED ON CURB WITH VIBRATION ISOLATORS.

4

12" ROUND EXHAUST FLUE WITH TERMINATION CAP AND BIRD SCREEN.

5

8" COMBUSTION AIR INTAKE WITH GOOSENECK AND BIRD SCREEN.

6

NOT USED

7

PROVIDE 3 SQ. FT. MIN FREE AREA PENTHOUSE ELEVATOR VENT (SIMILAR TO GREENHECK PIN PEV-400). COORDINATE COLOR WITH ARCHITECT.

8

18x12 SUPPLY DUCT DOWN THROUGH ROOF TO FLOOR BELOW.

9

22x22 RETURN DUCT DOWN THROUGH ROOF TO FLOOR BELOW.

10

ROOFTOP UNIT MOUNTED ON CURB WITH VIBRATION ISOLATORS.

11

1-1/4" CWS AND CWR PIPE DOWN TO FLOOR BELOW.

GENERAL NOTE:

1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.

1 ROOF PLAN (FACTORY BLDGS 2, 5 & 6) - HVAC
SCALE: 1/8" = 1'-0"

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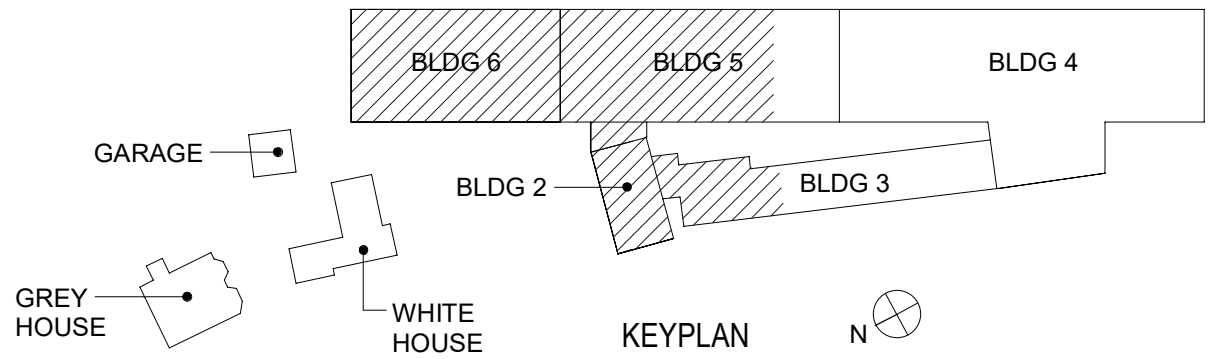
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ROOF PLAN (FACTORY BLDGS 2, 5 & 6) - HVAC

H106



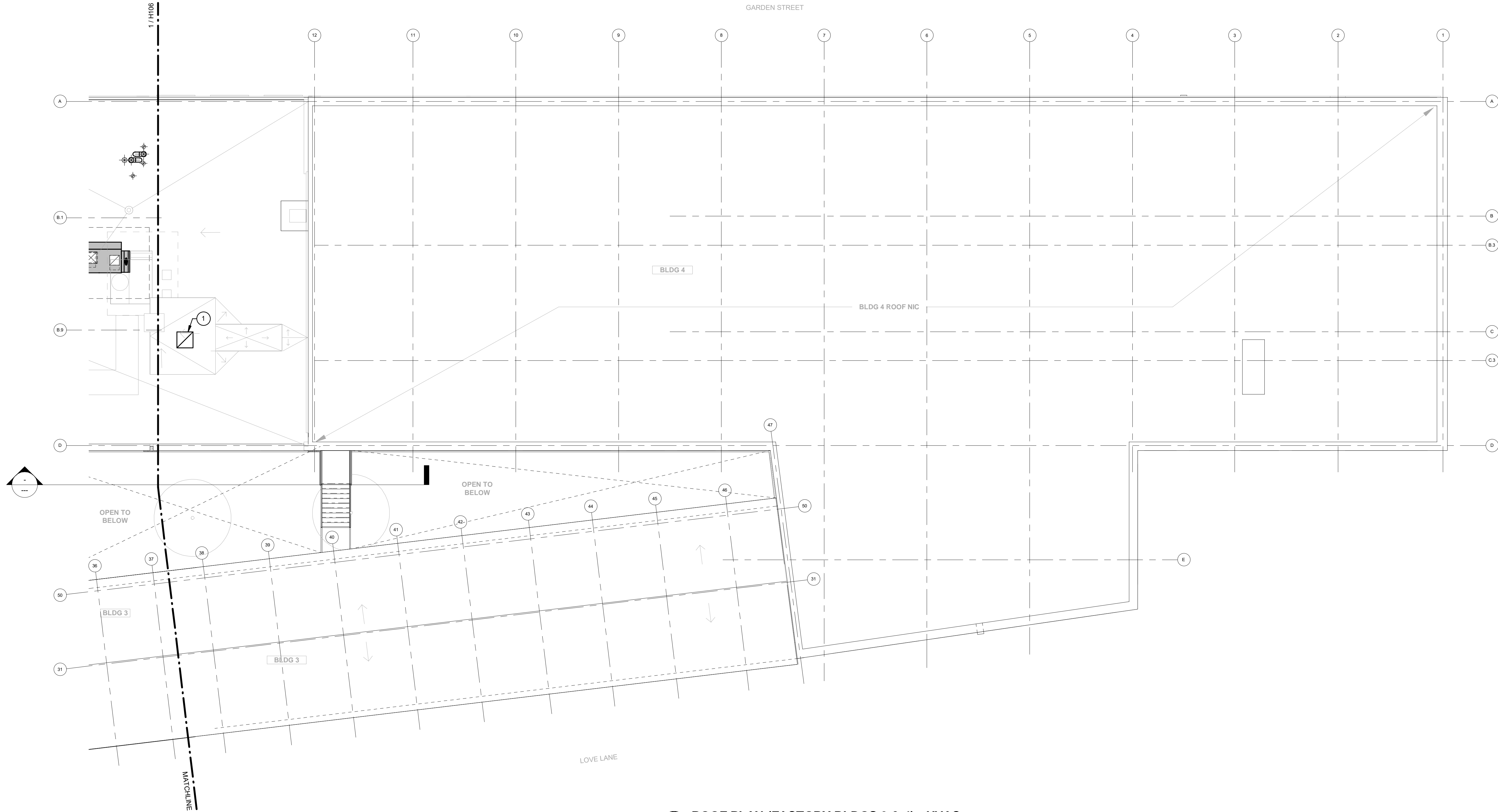
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HVAC WORK NOTES

1 PROVIDE 3 SQ. FT. MIN FREE AREA PENTHOUSE ELEVATOR VENT (SIMILAR TO GREENHECK P/N PEV-400). COORDINATE COLOR WITH ARCHITECT

GENERAL NOTE:

1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.



1 ROOF PLAN (FACTORY BLDGS 3 & 4) - HVAC
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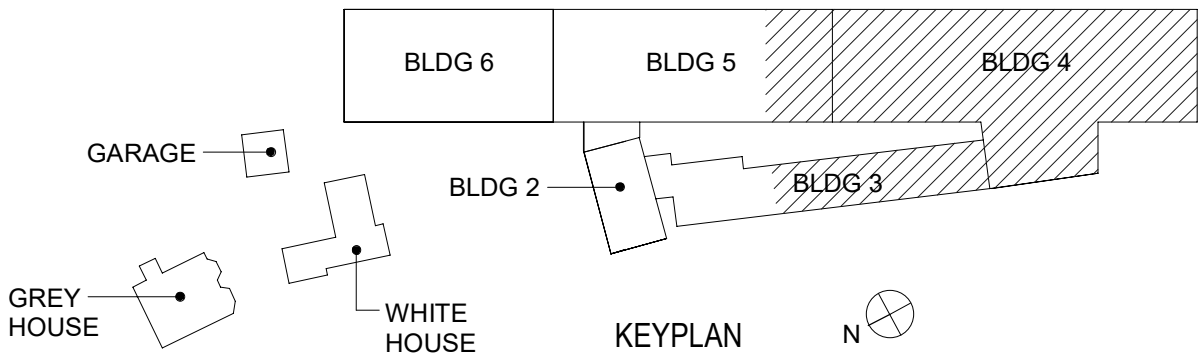
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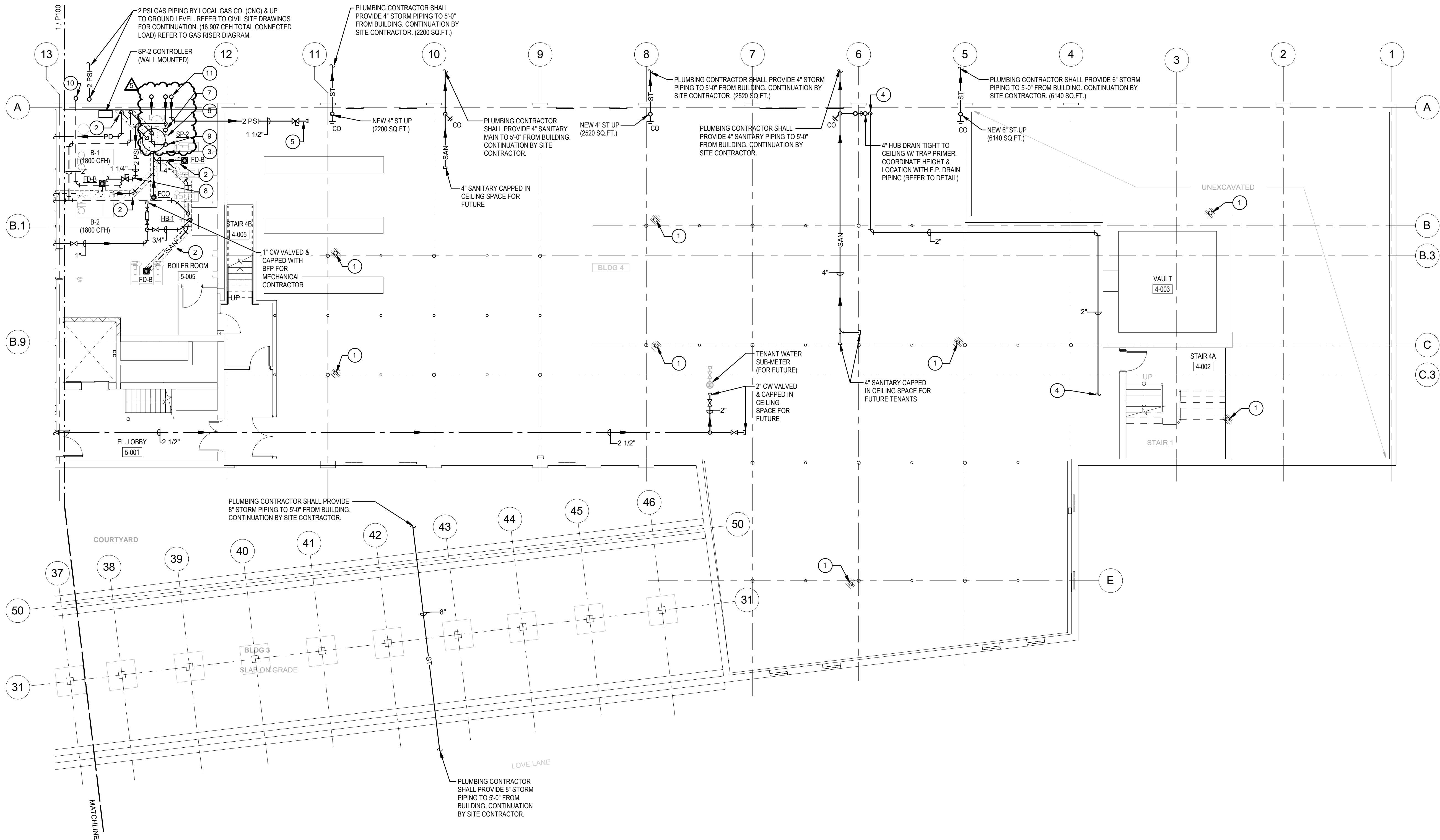


ROOF PLAN (FACTORY BLDGS 3 & 4) - HVAC

H107



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1 BASEMENT (FACTORY BLDGS 3 & 4) - PLUMBING
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3	08/10/18	CONFORMANCE SET
4	10/24/18	GAS METER REVISION
5	05/02/19	CB #05R-B

CONSTRUCTION DOCUMENTS

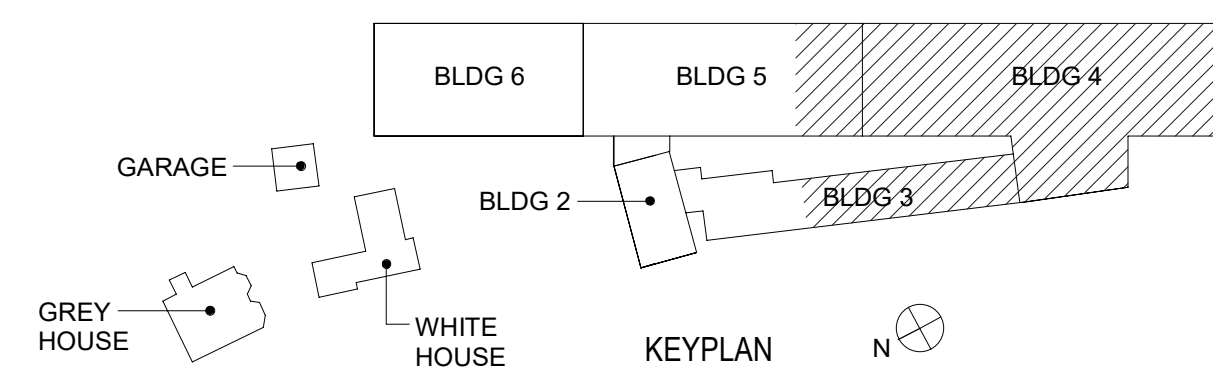
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BASEMENT PLAN (FACTORY
BLDGS 3 & 4) - PLUMBING

P101

PLUMBING WORK NOTES

- EXISTING STORM PIPING CAPPED BELOW SLAB.
- DENOTES AREA WHERE SAWCUTTING IS REQUIRED TO INSTALL UNDERSLAB PIPING. PATCH FLOOR TO MATCH EXISTING. REFER TO SAWCUTTING DETAIL.
- DENOTES AREA WHERE SAWCUTTING IS REQUIRED TO INSTALL SUMP PUMP. REFER TO PLUMBING DETAIL 1/P203.
- EXTEND FIRE PROTECTION DRAIN PIPING TO NEW 4" HUB DRAIN & TERMINATE W/ REQUIRED AIR GAP. REFER TO PLUMBING DETAIL 3/P202.
- 1-1/2" GAS (2 PSI) PIPING VALVED & CAPPED IN CEILING SPACE. TENANT: FRESH BOX FARMS (6,184 CFH)
- 2" GAS PIPING UP TO FLOOR LEVEL ABOVE. TENANT: KITCHEN GROUP (400 CFH)
- 1-1/2" GAS (2 PSI) PIPING UP TO FLOOR LEVEL ABOVE. TENANT: BUILDING OWNER'S (2,723 CFH)
- 1-1/4" GAS (2 PSI) PIPING BRANCH SERVING BOILERS #1 & #2. TENANT: BUILDING OWNER'S (3,600 CFH)
- 5" GAS PIPING UP TO FLOOR LEVEL ABOVE. TENANT: BEAR'S (4,000 CFH)
- GAS REGULATOR VENT OUT & UP EXTERIOR WALL TERMINATING WITH 90 DEGREE ELBOW DOWN. SIZE VENT PIPING PER REGULATOR REQUIREMENT.
- GAS PIPING UP TO GROUND FLOOR LEVEL. REFER TO GAS RISER DIAGRAM FOR ADDITIONAL INFORMATION.

GENERAL NOTE:

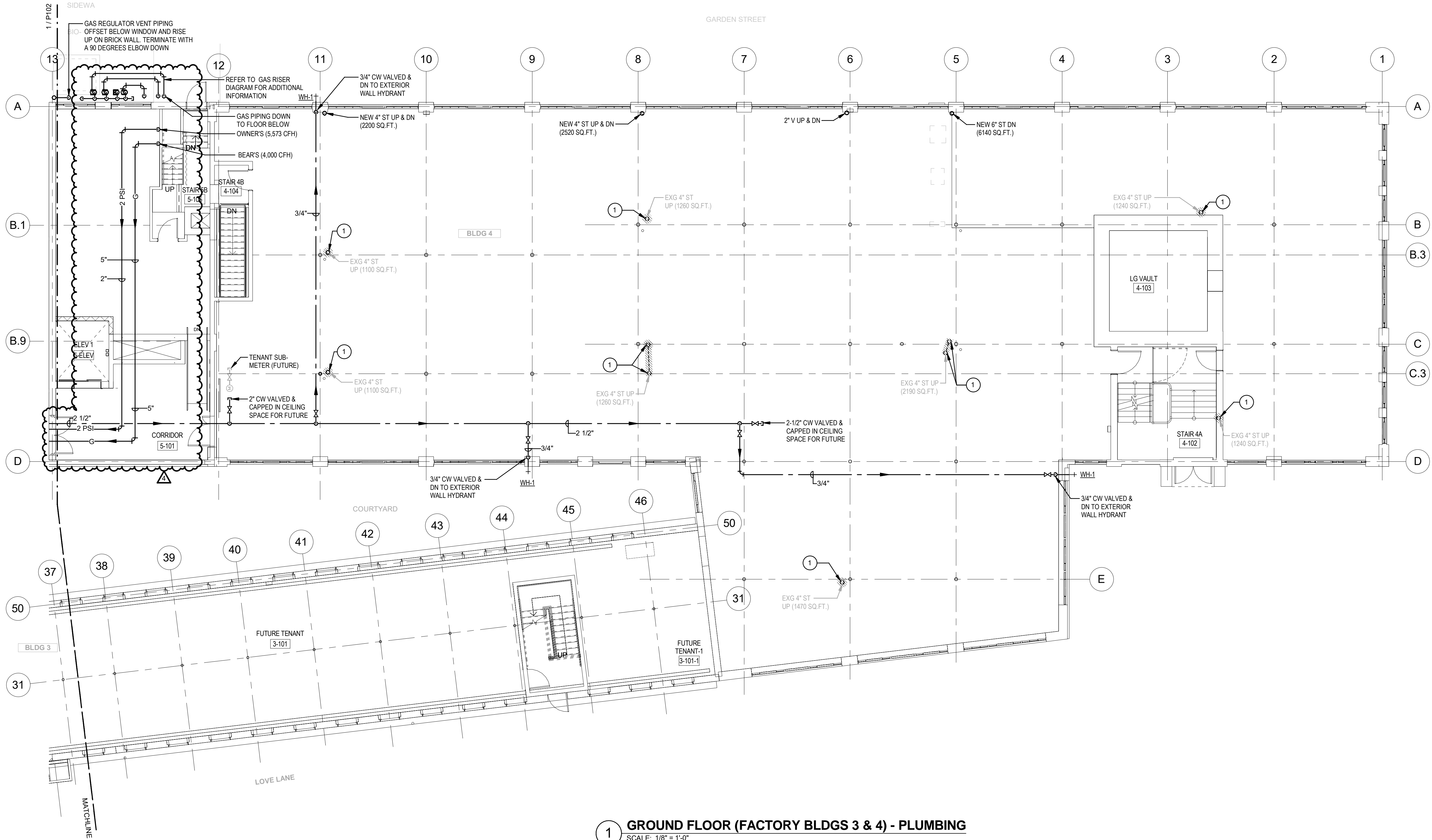
- COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.

PLUMBING WORK NOTES

1 DISCONNECT & REMOVE EXISTING 4" STORM RISERS FROM ROOF DRAINS TO BASEMENT AS INDICATED. VERIFY EXACT LOCATIONS IN FIELD.

GENERAL NOTE:

1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.



1 GROUND FLOOR (FACTORY BLDGS 3 & 4) - PLUMBING
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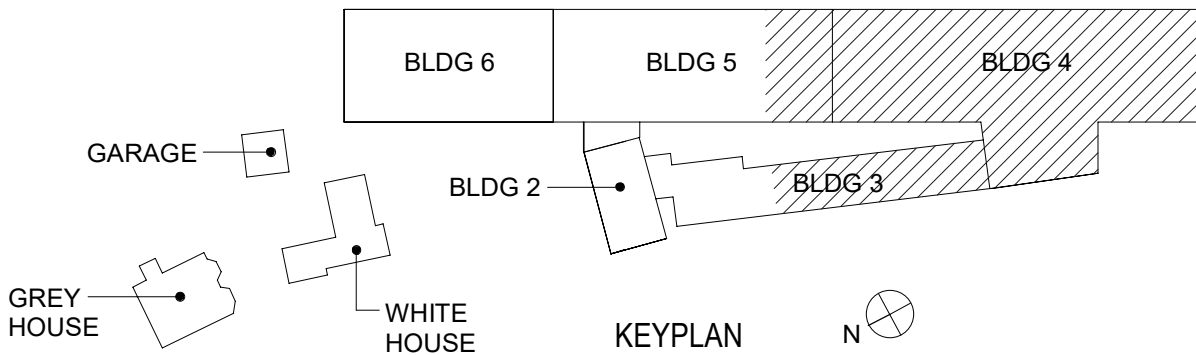
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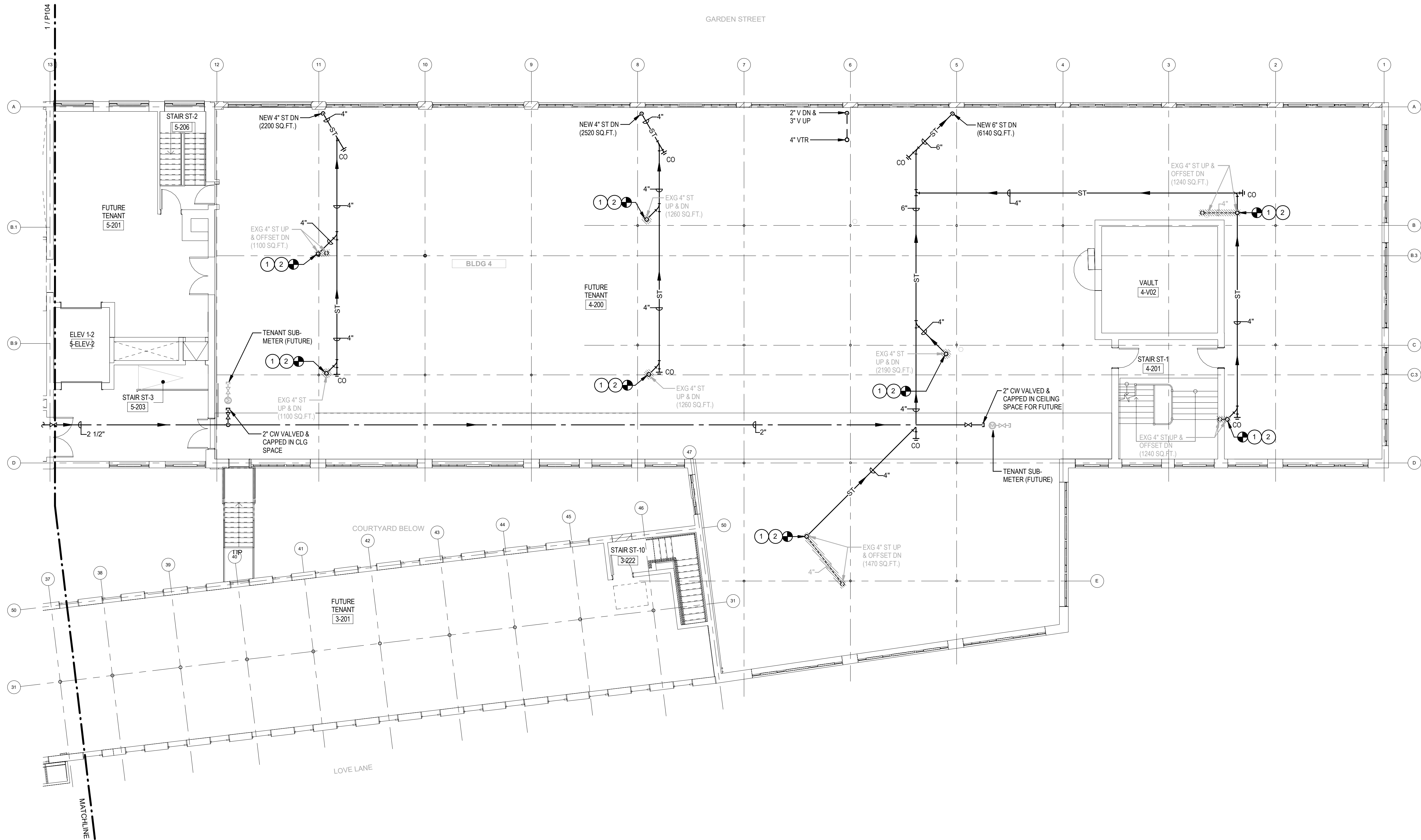


GROUND FLOOR PLAN
(FACTORY BLDGS 3 & 4) -
PLUMBING

P103

PLUMBING WORK NOTES

- 1
- CONNECT NEW 4" STORM PIPING TO EXISTING ROOF DRAINS & ROUTE TIGHT TO CEILING TO COMMON STORM RISERS. VERIFY EXACT LOCATIONS IN FIELD.
- 2
- DISCONNECT & REMOVE EXISTING STORM PIPING IN ITS ENTIRETY FROM ROOF DRAINS TO BELOW SLAB. EXISTING ROOF DRAINS TO REMAIN.
- GENERAL NOTE:
1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.



1 SECOND FLOOR (FACTORY BLDGS 3 & 4) - PLUMBING
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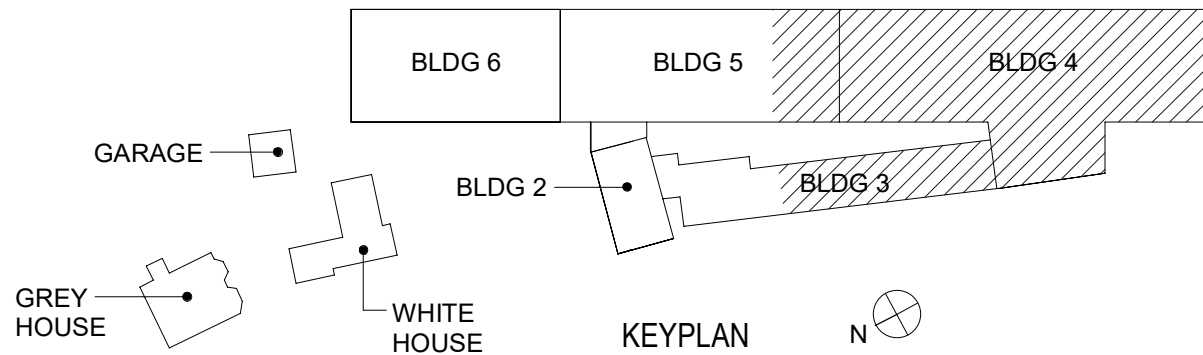
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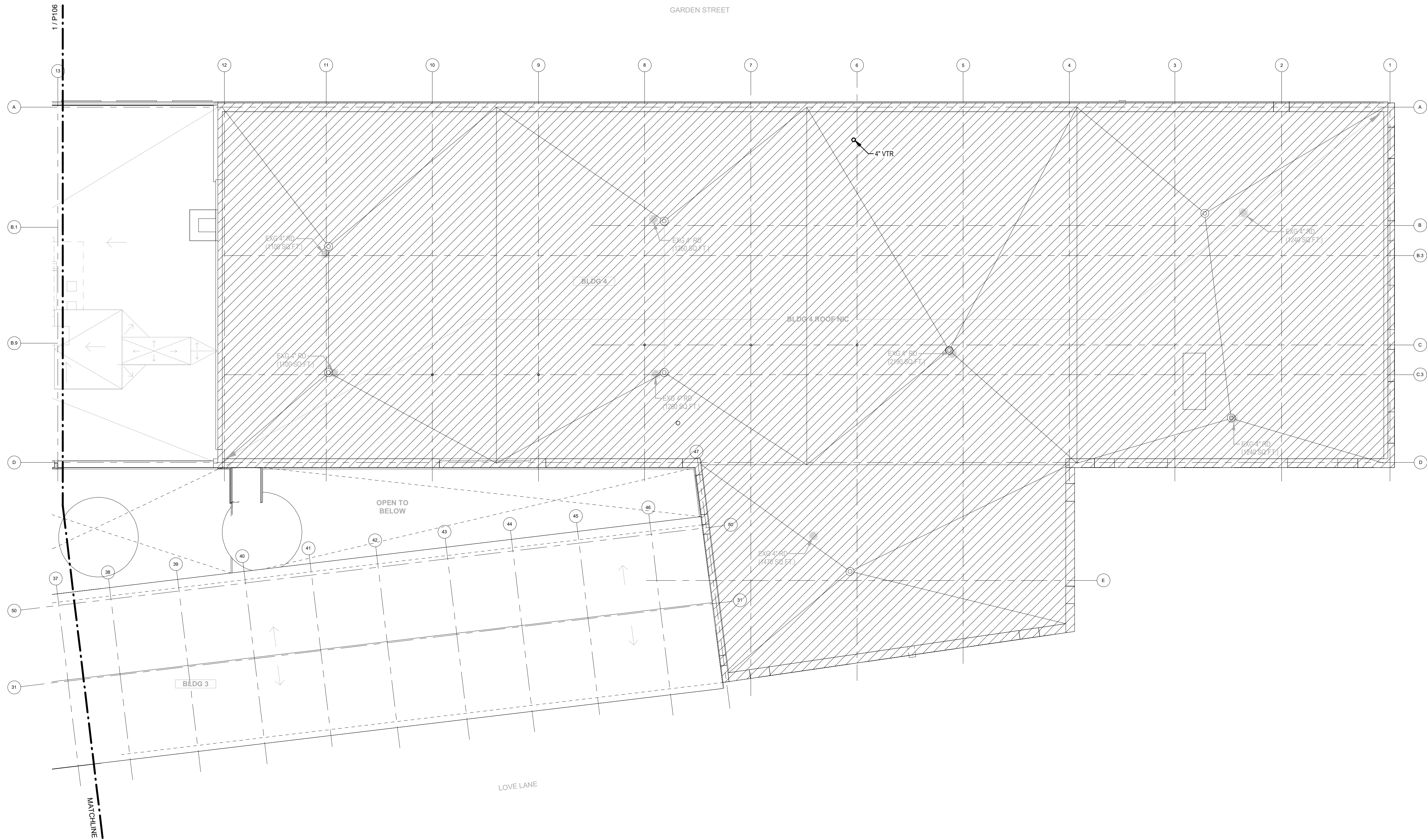


SECOND FLOOR PLAN
(FACTORY BLDGS 3 & 4) -
PLUMBING

P105

PLUMBING WORK NOTES

GENERAL NOTE:
1. COORDINATE WORK WITH ALL OTHER TRADES. REFER TO OTHER TRADE'S DRAWINGS FOR ADDITIONAL INFORMATION.



1 ROOF PLAN (FACTORY BLDGS 3 & 4) - PLUMBING
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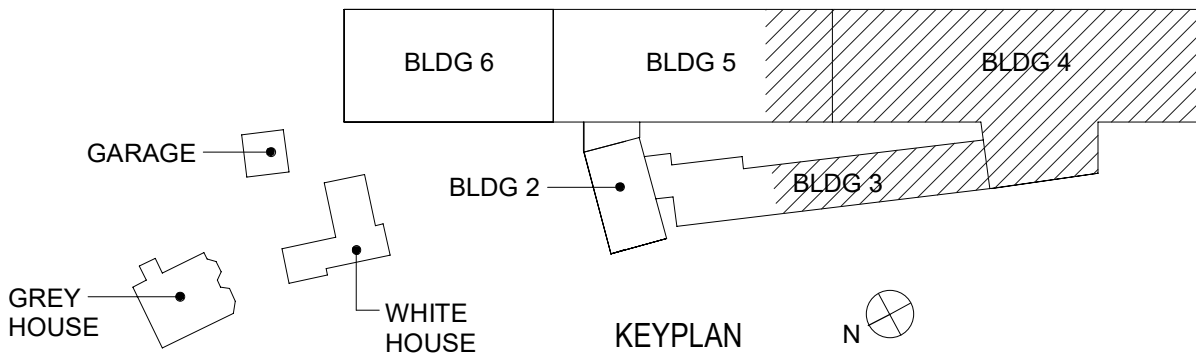
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











ROOF PLAN (FACTORY BLDGS 3 & 4) - PLUMBING

P107



NOTE:
UNLESS LABELED OTHERWISE,
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	CMU MASONRY
	CONCRETE
	BRICK MASONRY
	REPLACE DECKING
	REPLACE FRAMING
(E) OR	EXISTING
(N) OR	NEW
	EXIST. WOOD DECK
	NEW OR EXIST. CC
	EXIST. LOG DECK
	NEW LOC-DECK LA DECKING, MATCH COORD. W/ SER
	NEW STEEL MASONRY OR ENLARGED OPENING LINTEL SCHEDULE

QUANTITIES, LOCATIONS AND EXTENTS OF MEMBERS AND DECKING THAT ARE INDICATED TO BE REMOVED AND REPLACED OR REPAIRED ARE PROVIDED AS AN APPROXIMATION FOR BIDDING BASED UPON A LIMITED NUMBER OF EXISTING CONDITION FIELD SURVEYS. REMOVAL AND REPLACEMENT OR REPAIR SHOULD BE CONFIRMED IN THE FIELD, AS DESCRIBED BELOW, BASED UPON THE ACTUAL CONDITIONS ENCOUNTERED DURING THE REMOVAL PROCESS. UNIT PRICES CONTAINED IN THE BID FORM SHALL BE THE BASIS FOR COST ADJUSTMENTS.

"SECTION LOSS" SHALL BE DEFINED AS THE QUANTITY OF WOOD FIBER MATERIAL THAT HAS BEEN NOTICEABLY SOFTENED, WEAKENED OR CONSUMED BY ROT, AS BE DETECTED BY TEST-DRILLING, RESISTANCE DRILLING OR PROBING BY A QUAL CARPENTER WITH AT LEAST TEN YEARS EXPERIENCE IN EXAMINATION AND REPAIR EXISTING AND HISTORIC WOOD TIMBER STRUCTURES.

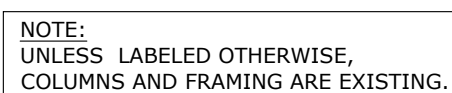
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1. SOME FLOOR AND ROOF BEAMS IN BUILDING 5 HAVE SEEN DETERIORATION, REPAIRS ARE NECESSARY. SEE DRAWING S-302.
2. SOME REPLACEMENT OF ROTTED FLOOR AND ROOF DECKING WILL BE REQUIRED. PROVIDE NEW DECKING OF THE SAME THICKNESS AS THE DECKING BEING REPLACED.
3. PROVIDE ADD AND DEDUCT UNIT PRICES IN THE BID FORM FOR COST ADJUSTMENT BASED ON ACTUAL QUANTITIES.

S-101

IF THIS SHEET IS NOT: 24" x 36", IT HAS BEEN REDUCED OR ENLARGED.

(B) DEPENDING ON EXISTING BEAM SPECIES AND GRADE, PROPOSED FINISH FLOOR TYPE, AND TYPE/LAYOUT OF RACKS, BEAMS WILL LIKELY APPROACH THEIR CAPACITY AND SHOULD BE CHECKED BY A STRUCTURAL ENGINEER DURING FIT-OUT DESIGN. CONCRETE FLOOR OVERLAYMENT IS NOT RECOMMENDED DUE TO BOTH THE POTENTIAL FOR DETERIORATION DUE TO MOISTURE MIGRATION INTO WOOD AND ADDITIONAL WEIGHT.



2. SOME REPLACEMENT OF ROTTED FLOOR AND ROOF DECKING WILL BE REQUIRED. PROVIDE NEW DECKING OF THE SAME THICKNESS AS THE DECKING BEING REPLACED.

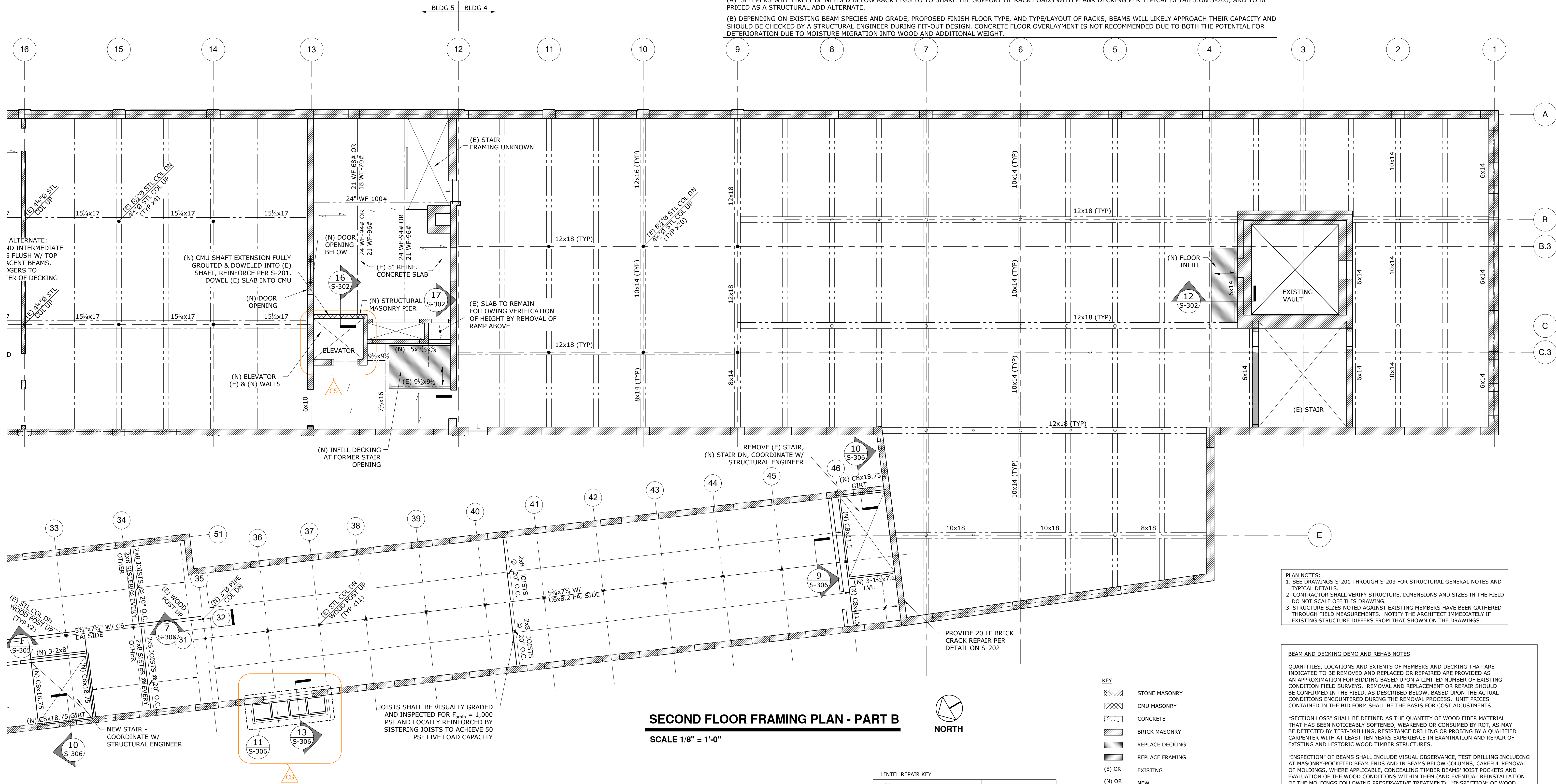
3. PROVIDE ADD AND DEDUCT UNIT PRICES IN THE BID FORM FOR COST ADJUSTMENT BASED ON ACTUAL QUANTITIES.

S-103

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FLOOR FRAMING CAPACITY FOR PROPOSED HYDROPONIC USE:
FLOOR FRAMING HAS BEEN CHECKED FOR CONCEPTUAL HYDROPONIC LOADS. RESULTS OF THE CONCEPTUAL ANALYSIS INCLUDE THE FOLLOWING FINDINGS:
(A) SLEEPERS WILL LIKELY BE NEEDED BELOW RACK LEGS TO TO SHARE THE SUPPORT OF RACK LOADS WITH PLANK DECKING PER TYPICAL DETAILS ON S-203, AND TO BE PRICED AS A STRUCTURAL ADD ALTERNATE.
(B) DEPENDING ON EXISTING BEAM SPECIES AND GRADE, PROPOSED FINISH FLOOR TYPE, AND TYPE/LAYOUT OF RACKS, BEAMS WILL LIKELY APPROACH THEIR CAPACITY AND SHOULD BE CHECKED BY A STRUCTURAL ENGINEER DURING FIT-OUT DESIGN. CONCRETE FLOOR OVERLAYMENT IS NOT RECOMMENDED DUE TO BOTH THE POTENTIAL FOR DETERIORATION DUE TO MOISTURE MIGRATION INTO WOOD AND ADDITIONAL WEIGHT.



SECOND FLOOR FRAMING PLAN - PART B

SCALE 1/8" = 1'-0"

LINTEL REPAIR KEY		
EL# -	M, S, OR X -	EXISTING LINTEL REPAIR,
BLDG #	RELATIVE CONDITION: M=MODERATE S=SEVERE X= UNKNOWN (ASSUMED)	SEE ALSO 1-4/S-303

NOTE:
UNLESS LABELED OTHERWISE,
COLUMNS AND FRAMING ARE EXISTING.

- KEY
- STONE MASONRY
 - CMU MASONRY
 - CONCRETE
 - BRICK MASONRY
 - REPLACE DECKING
 - REPLACE FRAMING
 - (E) OR EXISTING
 - (N) OR NEW
 - EXIST. WOOD DECKING
 - NEW OR EXIST. CONCRETE SLAB
 - EXIST. LGM DECKING
 - NEW LOC-DECK LAMINATED WOOD DECKING, MATCH DEPTH TO EXISTING, COORD. W/ SER
 - L NEW STEEL MASONRY LINTEL ABOVE NEW OR ENLARGED OPENING. SEE LOOSE LINTEL SCHEDULE ON S-201 FOR SIZE

PLAN NOTES:
1. SEE DRAWINGS S-201 THROUGH S-203 FOR STRUCTURAL GENERAL NOTES AND TYPICAL DETAILS.
2. CONTRACTOR SHALL VERIFY STRUCTURE, DIMENSIONS AND SIZES IN THE FIELD. DO NOT SCALE OFF THIS DRAWING.
3. STRUCTURE SIZES NOTED AGAINST EXISTING MEMBERS HAVE BEEN GATHERED THROUGH FIELD MEASUREMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF EXISTING STRUCTURE DIFFERS FROM THAT SHOWN ON THE DRAWINGS.

BEAM AND DECKING DEMO AND REHAB NOTES

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TIMBER BEAMS AND DECKING:

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- PROVIDE ADD AND DEDUCT UNIT PRICES IN THE BID FORM FOR COST ADJUSTMENT BASED ON ACTUAL QUANTITIES.

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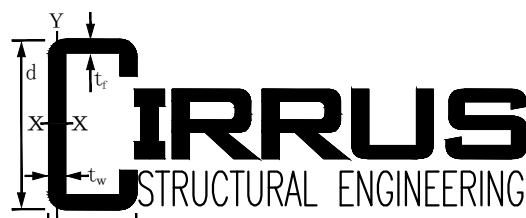
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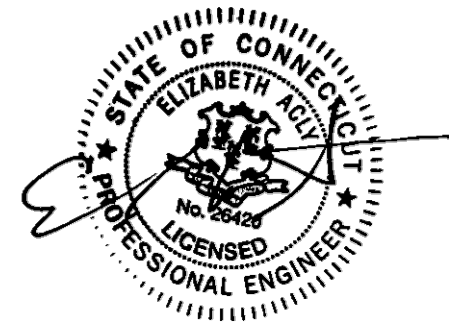
Rev.	Date	Remarks

CONFORMANCE SET

Date AUGUST 10, 2018
Scale
Project Number 16,044



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19 Lower Woodland Terrace
Columbia, CT 06237
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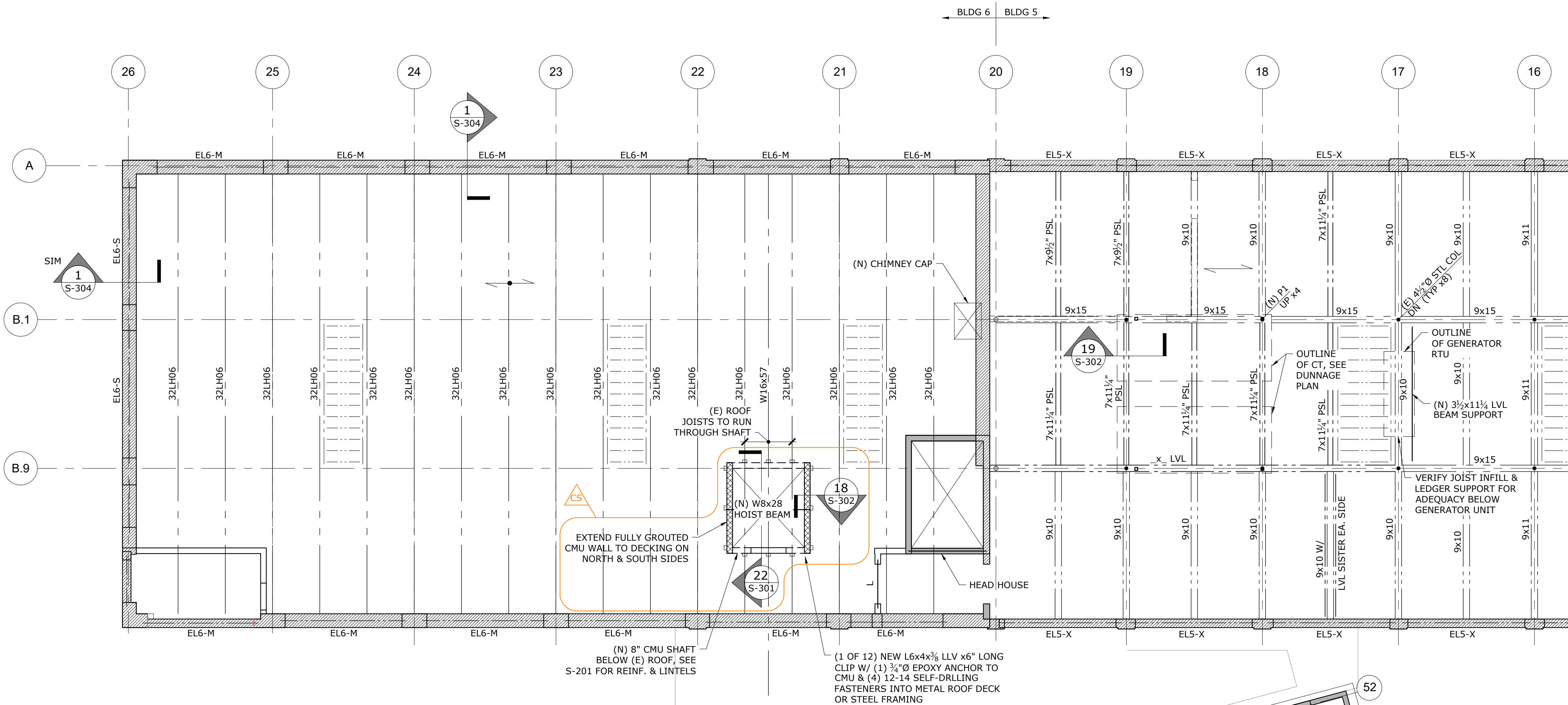


SWIFT FACTORY RENOVATION

SECOND FLOOR
FRAMING PLAN - PART B

S-105

IF THIS SHEET IS NOT 24" x 36", IT HAS BEEN REDUCED OR ENLARGED.



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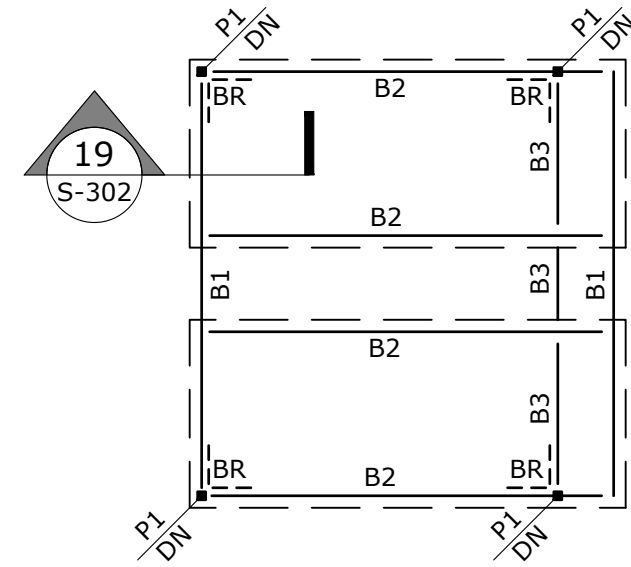
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KEY
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CMU MASONRY
CONCRETE
BRICK MASONRY
REPLACE DECKING
REPLACE FRAMING
EXISTING
(E) OR
(N) OR
EXIST. WOOD DECKING
NEW OR EXIST. CONCRETE SLAB
EXIST. LGM DECKING
NEW LOC-DECK LAMINATED WOOD DECKING, MATCH DEPTH TO EXISTING, COORD. W/ SER
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LINTEL REPAIR KEY		
EL#	M, S, OR X	EXISTING LINTEL REPAIR,
BLDG #	RELATIVE CONDITION:	SEE ALSO 1-4/S-303
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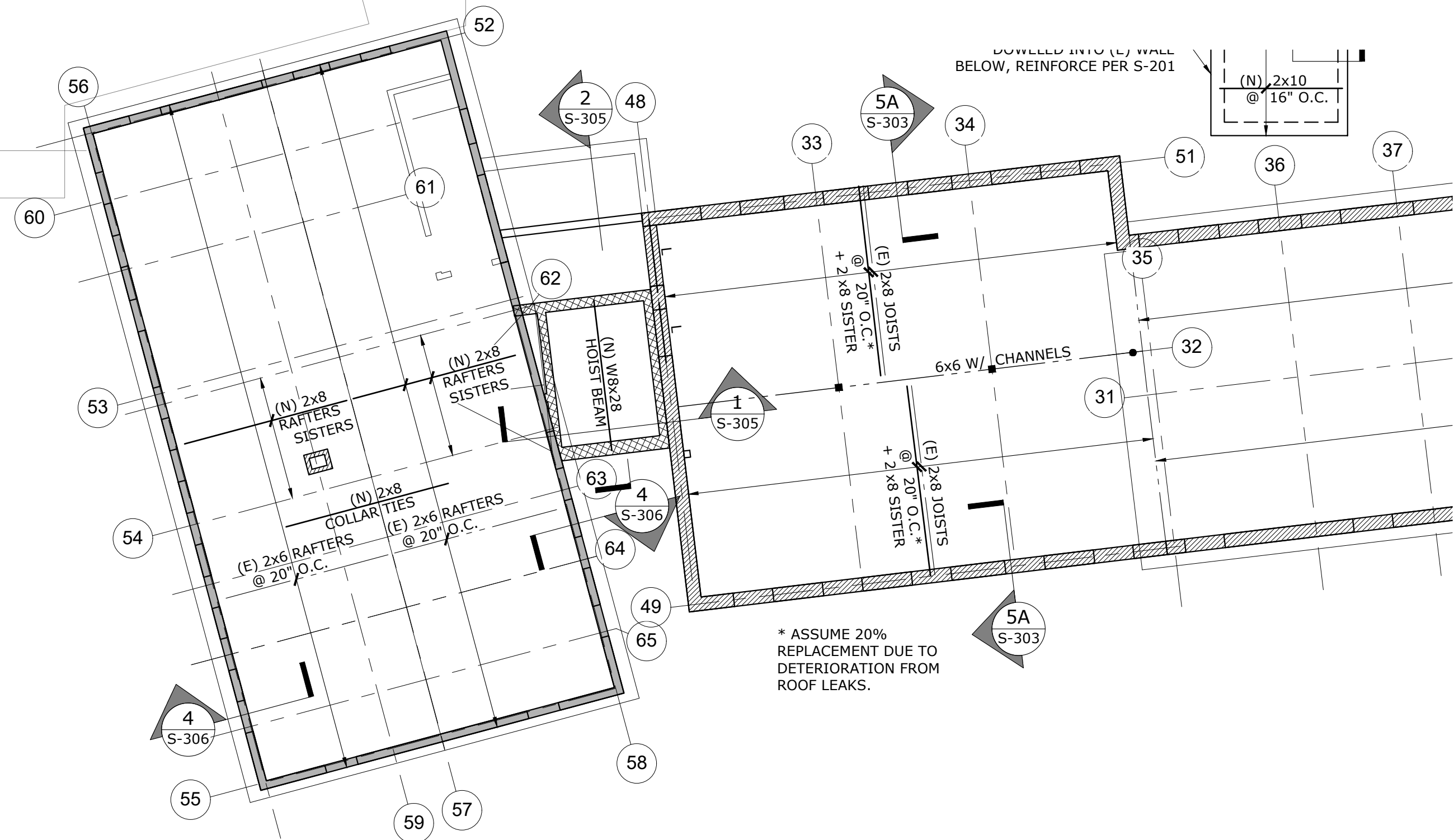
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ROOF FRAMING PLAN - PART A
SCALE 1/8" = 1'-0"



CT FRAME KEY
B1 W12x35, GALV
B2 W12x26, GALV
B3 W12x16, GALV
P1 HSS4x4x1/4 GALV
BR 3" SCHEDULE 40 PIPE BRACING, GALV

CT DUNNAGE FRAMING PLAN
SCALE 1/8" = 1'-0"



SWIFT FACTORY RENOVATION

ROOF FRAMING PLAN -
PART A

S-107

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Preservation/Landscape Architecture
Space Planning/Interior Design

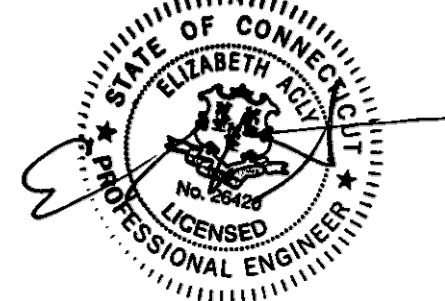
Rev.	Date	Remarks

CONFORMANCE SET

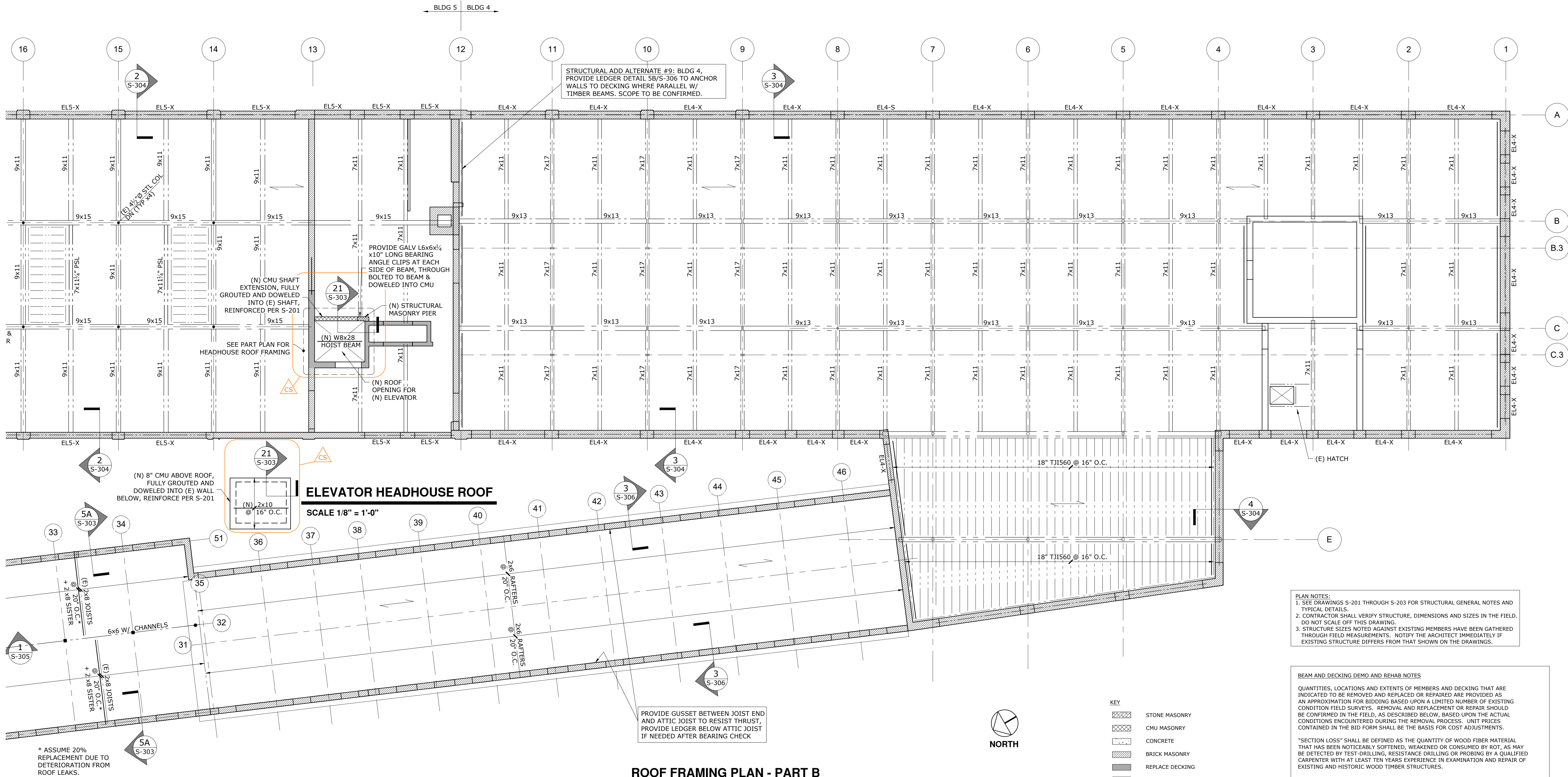
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ROOF FRAMING PLAN - PART B
SCALE 1/8" = 1'-0"

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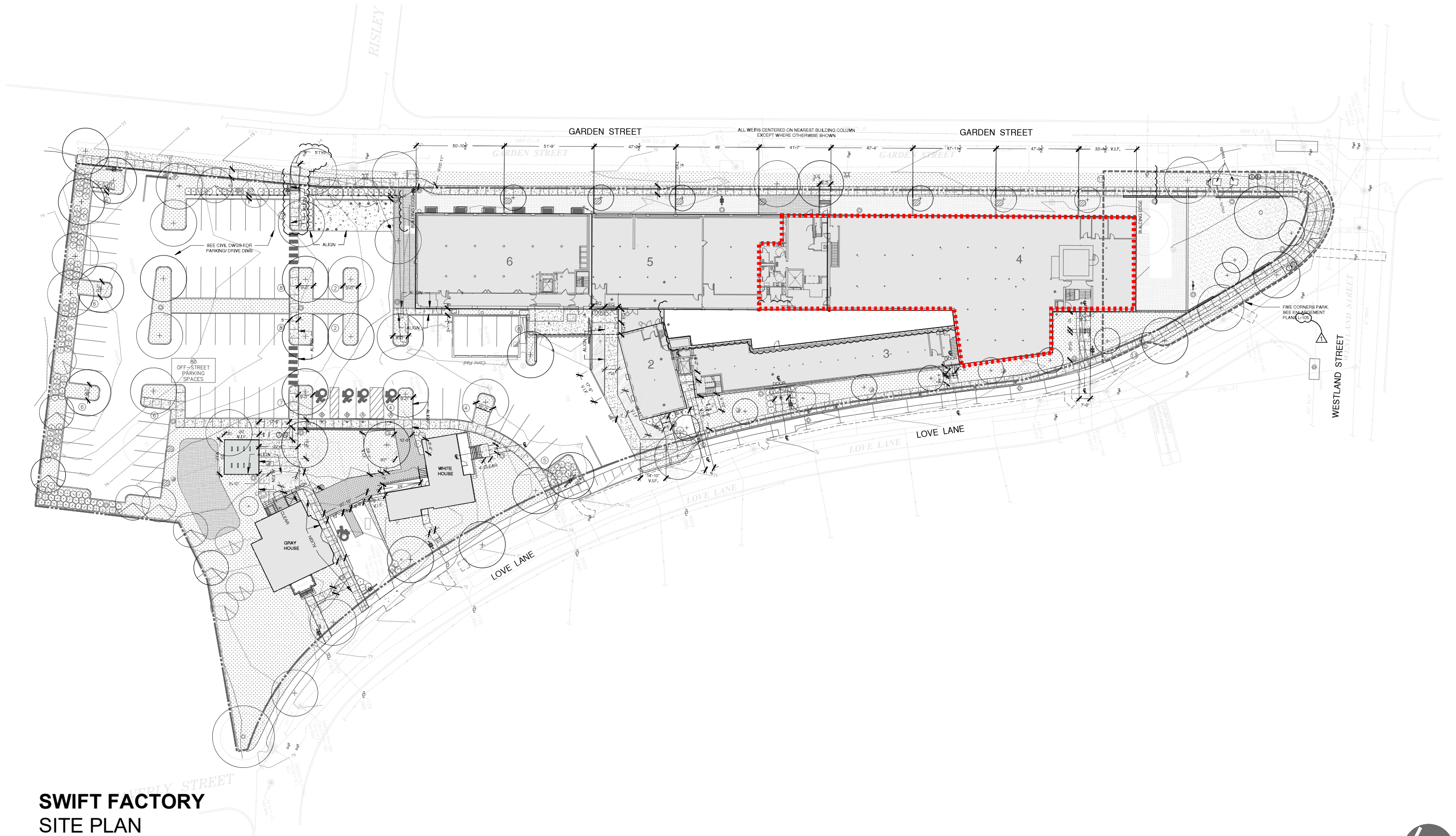
SWIFT FACTORY RENOVATION

ROOF FRAMING PLAN -
PART B

S-108

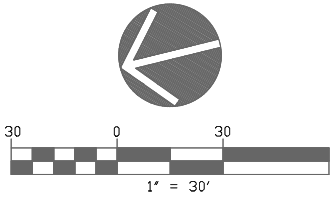
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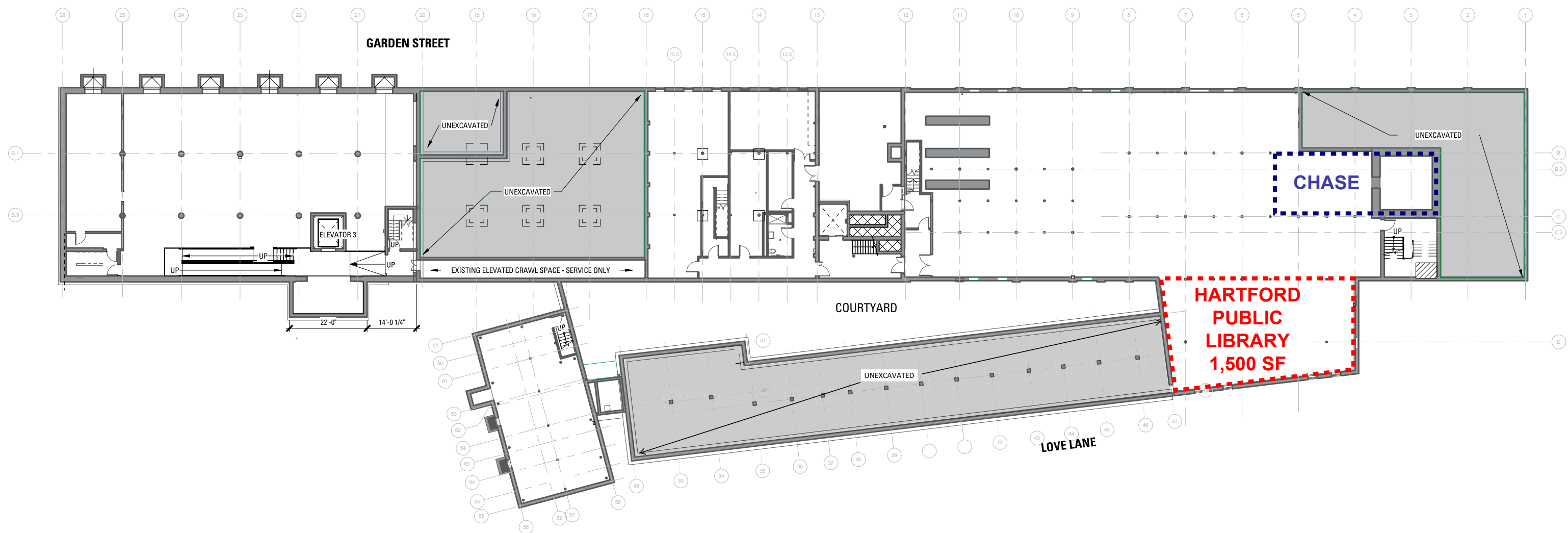
Conceptual Plans



SWIFT FACTORY
SITE PLAN

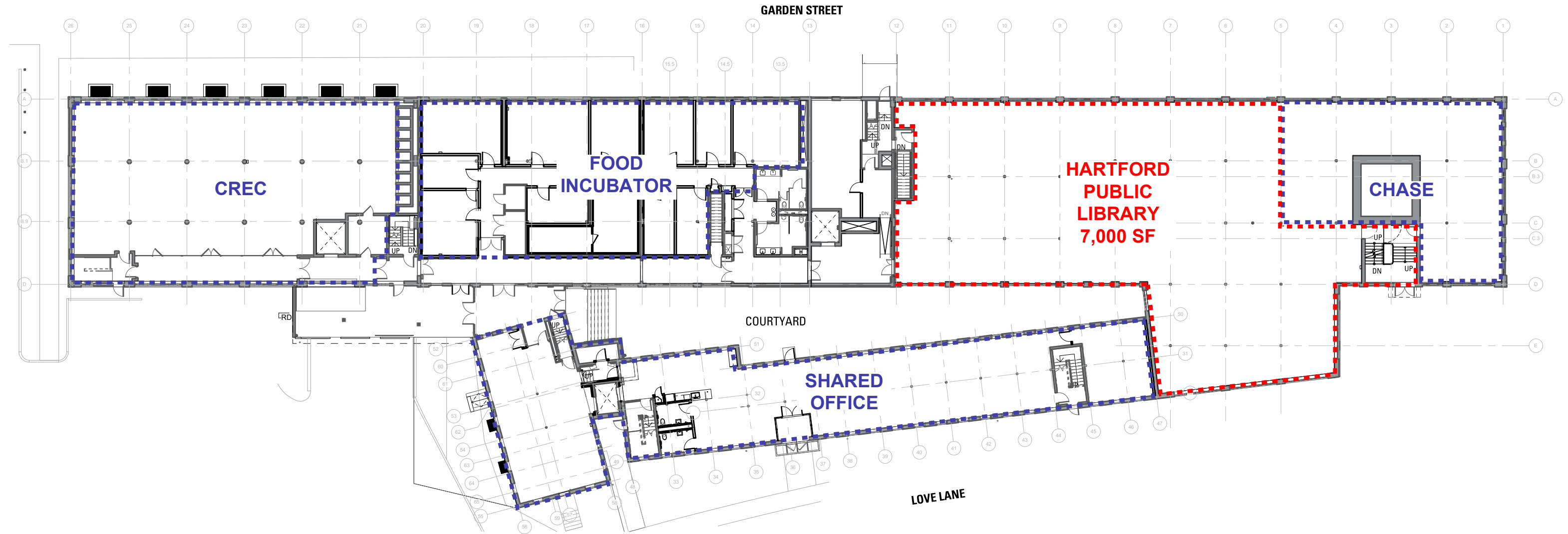
PROPOSED PROJECT SPACE





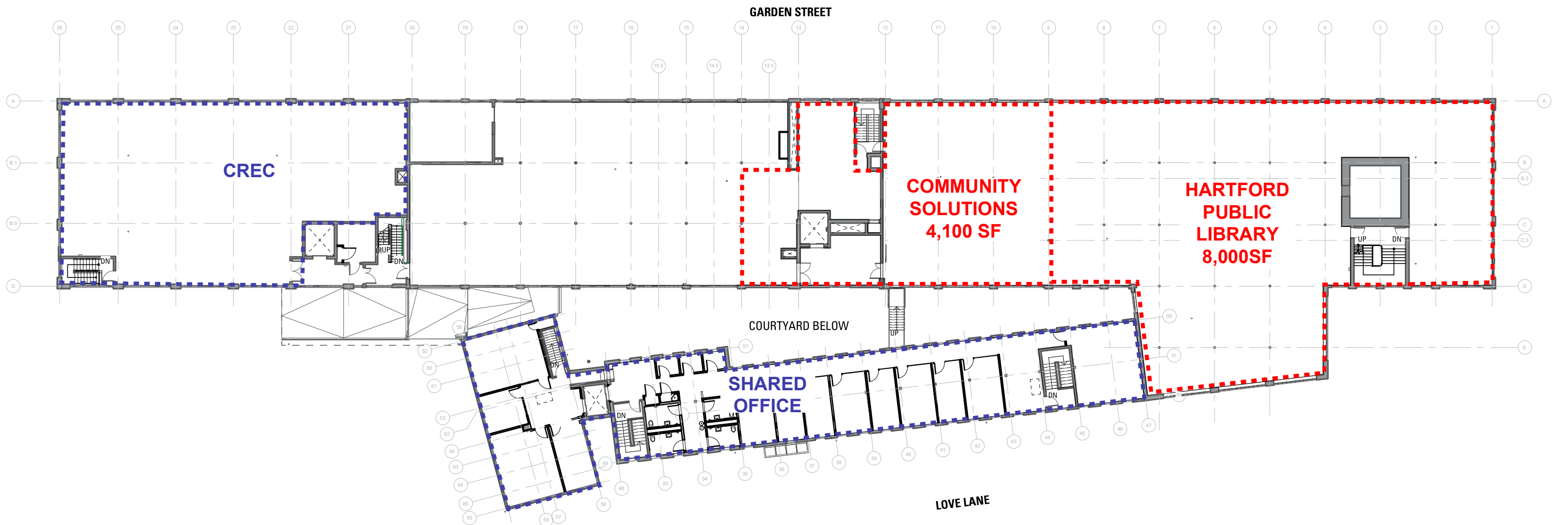
SWIFT FACTORY
BASEMENT PLAN

PROPOSED PROJECT SPACE



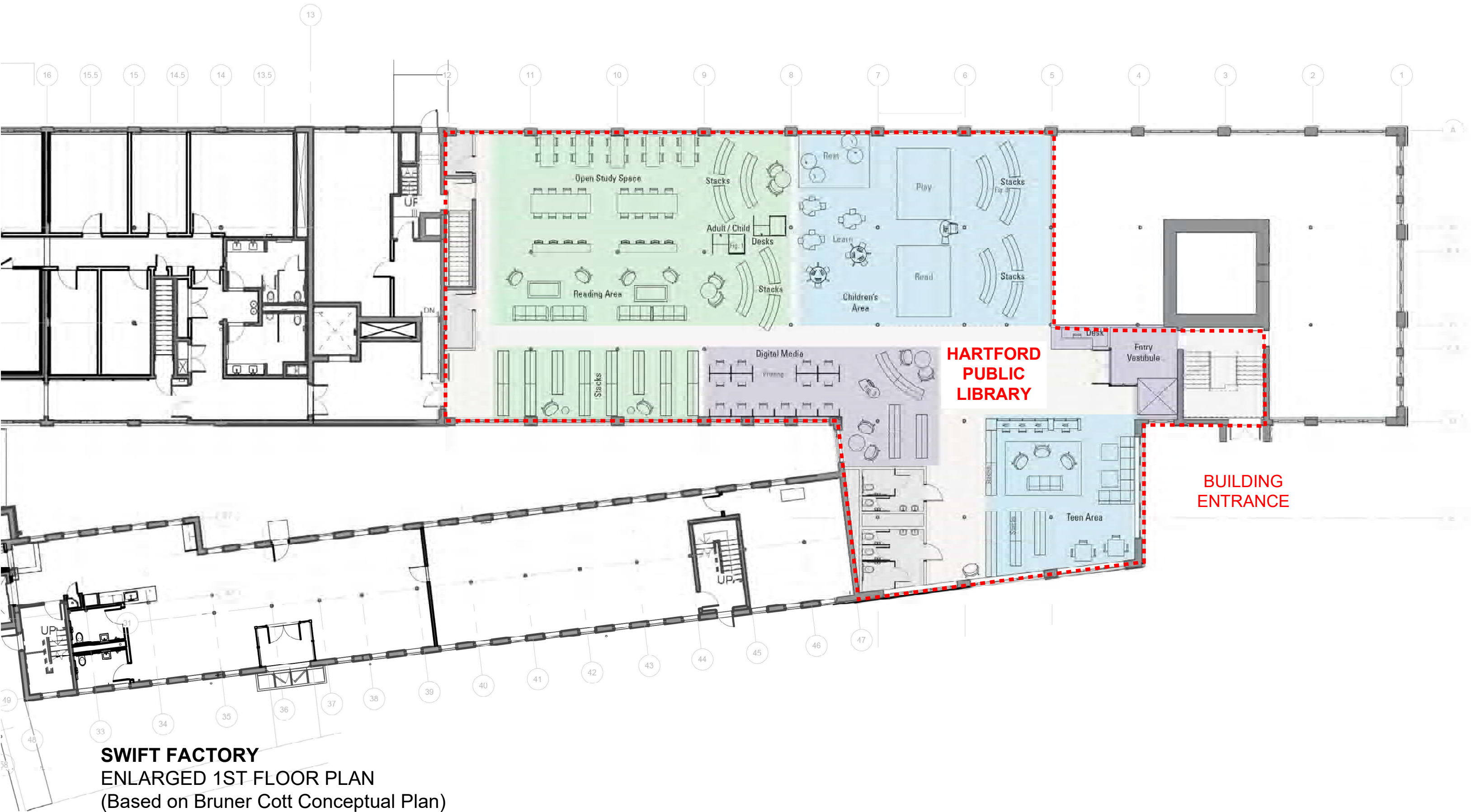
SWIFT FACTORY
1ST FLOOR PLAN

PROPOSED PROJECT SPACE

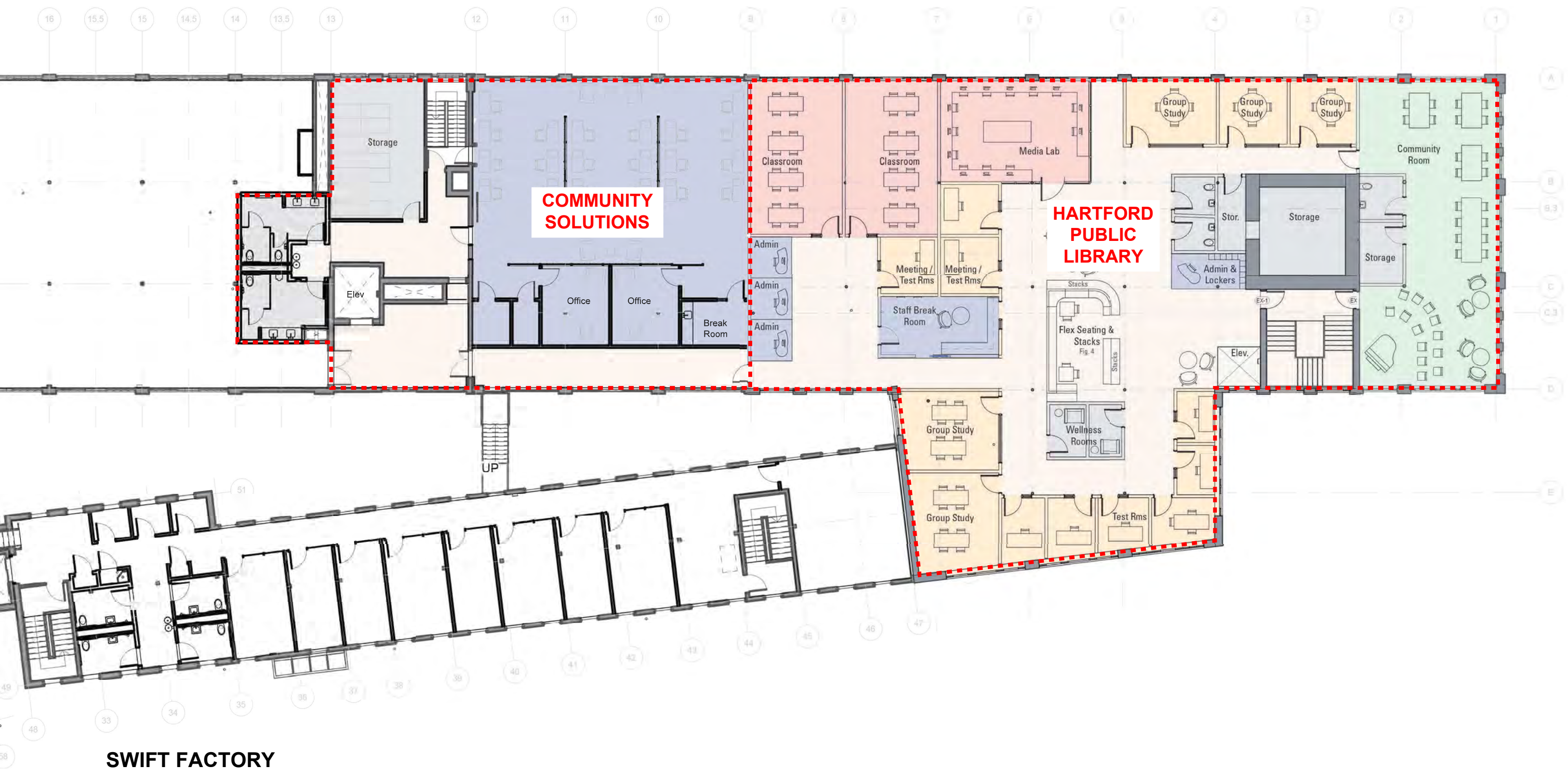


SWIFT FACTORY
2ND FLOOR PLAN

PROPOSED PROJECT SPACE



SWIFT FACTORY
ENLARGED 1ST FLOOR PLAN
 (Based on Bruner Cott Conceptual Plan)
PROPOSED PROJECT SPACE



SWIFT FACTORY
ENLARGED 2ND FLOOR PLAN
(Based on Bruner Cott Conceptual Plan)
PROPOSED PROJECT SPACE

EXHIBIT D

Teaser Video <https://vimeo.com/667412934>
(Password: HPL)